



**Mississippi Headwaters Board
Meeting Agenda
Cass County Courthouse
Walker, MN**

<https://us02web.zoom.us/j/88369874406>

August 28, 2026

9:00 am

9:00 AM

- **Call to Order/Pledge of Allegiance**

9:05 AM Approve/Amend

- Agenda
- Consent Agenda – June & July 2026 Expenses & Minutes

Planning and Zoning (Actions)

- A8a26 Aitkin County Fairgrounds Variance

Correspondence

- August Press Release
- History Paddle Announcement post
- We Are Water Paddle Announcement

Action / Discussion Items:

- Phil Voltruba- MPCA lake Irving and Mississippi Headwaters Watershed update- informative
- MHB Chair Position- Action
- MHHCP Brinks GIS Contract- informative
- Avenza- discussion
- Executive Directors report-informative

Misc: Legislature Update (if any), County Updates

Meeting Adjourned - Thank you

Mtgs: September 25, 2026 9:00 AM- MHB BOARD MEETING- Walker MN.
October 30, 2026 9:00 AM- MHB BOARD MEETING- Walker MN.
November 27, 2026 9:00 AM- MHB BOARD MEETING- Walker MN
December 18, 2026 9:00 AM- MHB BOARD MEETING- Walker MN

One or more members of the MHB board may attend remotely.

Mississippi Headwaters Board

June 26, 2026

Cass County Courthouse, Walker, MN

Optional interactive technology:

MEETING

MINUTES

Members present: Steve Keranen (Hubbard), Scott Bruns (Cass), Steve Barrows (Crow Wing), Bobby Kasper (Morrison interactive), Brian Ramsrud (Clearwater interactive), Cory Smith (Itasca), and Tim Terrill (Executive Director).

Others Present: Paula West, MHHCP project manager

Pledge of Allegiance

Commissioner Barrows was appointed as Chair since Commissioner Kearney had another meeting that conflicted with the MHB meeting. Chair Barrows asked if there were any additions to the agenda or questions concerning the consent agenda. With no response from the other Commissioners, **M/S (Kasper/Smith) to approve of the agenda and consent agenda. Motion carried unanimously.**

Planning and Zoning

None

Correspondence/Outreach

1. Tim presented the board with the press release regarding the Lake Irving phosphorus data and how it showed significant stability after the conservation practice was installed. Discussion ensued and Comm. Ramsrud asked if there was a difference noted in the algae blooms on the lake since the practice was installed. Tim explained that while the project showed measurable phosphorus reduction, holistic lake-wide benefits may take many years. Lake Irving acts as a catchment basin protecting Lake Bemidji, and the entire Mississippi watershed drains toward it. He noted that wetlands can "pulse" phosphorus during heavy rain events, releasing captured sediment downstream. Comm. Barrows expressed interest in knowing more about the project and requested that Tim ask a member of the Minn. Pollution Control Agency attend a board meeting to talk more about the watershed and the project.
2. Tim reported that he attended the Aitkin Rivers and Lakes Fair at the Long Lake Conservation Center and described it as a successful event. Approximately 200 people attended, along with 30 vendors. He shared photos from the event with the board.

Action/Discussion:

1. **Miss. Headwaters Habitat Corridor Program Update-** Paula West, MHHCP Coordinator, delivered the annual program update covering funding, accomplishments, partnerships, and strategic direction. Paula explained the program is in its 10th year (started 2016), funded by the Outdoor Heritage Fund under the 2008 constitutional amendment. Total investment to date is approximately \$35 million, including Clean Water Fund contributions used for five large easements. She stated on July 1st, an additional \$2.7 million will be received. Phase 11 has been applied for, requesting \$5 million, with funds potentially available July 1, 2027. Only easement money was requested this cycle, as the Trust for Public Land still has fee title acquisition funds remaining. She further explained that the program has consistently used 90-100% of appropriated funds which is viewed favorably by the Lessard Council.

Paula provided an update on easements and fee-title acquisitions. She reported that 65 RIM easements have been completed, protecting 56 miles of shoreline, along with 13 fee-title acquisitions resulting in four state forest additions, five county forest additions, one new Wildlife Management Area (WMA), two WMA additions, and one Aquatic Management Area addition. Fourteen additional easement projects are currently in process, representing approximately five more miles of protected shoreline.

Paula noted that 63% of permanent habitat conservation has occurred along the main stem of the Mississippi River, with a significant concentration in Aitkin County due to strong landowner participation and neighbor-to-neighbor communication. Tim added that when combined with existing federal and state lands, an estimated 60% or more of the 400-mile corridor is now protected, although exact figures were not available. Several examples of easements and acquisitions creating larger habitat complexes were presented to the board.

Commissioner Barrows observed that most completed projects are located south of Itasca and asked why the northern tier of the Mississippi River is less represented. Paula explained that much of the northern tier is already protected through existing federal and state ownership. Commissioner Barrows suggested developing a map showing federal and state protected lands alongside MHB-protected properties to better illustrate the cumulative conservation impact.

Paula also reported that Clearwater County has not participated in the program, and Itasca County has been reluctant due in part to historical confusion surrounding the Blandin easement and previous county commissioner opposition. Commissioner Ramsrud asked whether the reluctance was at the county or landowner level. Paula indicated it is primarily due to staffing limitations and unfamiliarity with the program in Clearwater County. Commissioner Ramsrud stated that he would discuss the matter with the SWCD, noting that while the Mississippi River corridor in Itasca County contains little farmland, there may still be opportunities for conservation projects.

Comm. Kasper Expressed strong opposition to fee title acquisitions, stating they remove land from tax rolls and that PILT payments are inadequate and unreliable compensation for counties. Other commissioners and staff expressed the same concern. Commissioners expressed a clear preference for conservation easements over fee-title acquisitions, and that open communication between conservation organizations and county boards prior to acquisition is essential.

Tim Terrill reported that the Outdoor Heritage Council has asked grant recipients to identify geographic focus areas and establish measurable endpoints for their conservation work. To support this effort, the partnership commissioned retired DNR fisheries research scientist Peter Jacobson to evaluate the

relationship between watershed protection and wildlife habitat, and to determine whether the partnership's 75% watershed protection goal is sufficient to sustain wildlife.

Jacobson's analysis incorporated three datasets—the Wildlife Action Network Score, the Watershed Health Assessment Framework Habitat Score, and The Nature Conservancy's Resilient and Connected Lands Network—and concluded that wildlife habitat is highly sensitive to land use disturbance. The analysis found that protecting 75% of a watershed provides substantial benefits for wildlife habitat.

The study produced a wildlife priority map identifying areas of very high and high conservation value throughout the Mississippi Headwaters region. Tim explained that the map will guide future outreach efforts, is expected to be incorporated into One Watershed One Plan documents, and may also be adopted by the DNR. He added that the RAC (Riparian, Adjacent, Quality) scoring system will continue to be used to evaluate individual parcels, with properties scoring six or higher on the 10-point scale receiving priority for conservation efforts.

2. **MHHCP Coordinator Contract Renewal-** Tim presented the contract renewal for Paula West as MHHCP Coordinator, noting her planned retirement on December 31, 2026. Comm. Barrows confirmed that the board will need to decide whether Tim assumes the role or whether a search is conducted for a replacement.
3. **EIN Designation for Certificate of Deposit-** Tim presented the need to designate a responsible party to obtain an Employer Identification Number (EIN) for the MHB investment account (certificate of deposit at a Federal Credit Union), as approved at the previous meeting. He explained that obtaining an EIN requires designating an individual with legal authority to act on behalf of MHB. The process takes approximately 5–10 minutes online and requires the individual's Social Security or tax identification number. The designation has no personal tax effect as it is on behalf of a government agency. **M/S (Smith/Kasper) to approve of Comm. VanKempen to be the EIN designated board member given that he is running unopposed and has a four-year term ahead. Motion carried unanimously.**
4. **Resolution Granting Authority to Conduct Banking Transactions-** Tim presented a resolution, modeled on Crow Wing County's banking authority resolution, to designate individuals authorized to conduct banking transactions and initiate EFTs on behalf of MHB. The Executive Director, Board Chair, and Secretary/Treasurer were confirmed on the resolution as designated authorized individuals. Commissioner Barrows noted that these designations will be updated at the January Organizational meeting when new officers are elected. **M/S (Smith/Ramsrud) to approve of the banking authority resolution presented and designate Tim Terrill, Michael Kearney, and Steve Barrows as authorized individuals for banking transactions. Motion carried unanimously.**

Executive Directors Report

Tim provided a brief executive director's report covering recent outreach, events, and social media performance.

1. Tim met with Senator Green on June 5th to introduce MHB's work, sharing a PowerPoint overview of programs. Senator Green expressed interest in the 75% watershed protection map and requested a copy. Tim was advised to work with Senator Hawj for future legislative efforts.
2. Tim reported that he attended the Aitkin "Paddle Your Glass Off" event on June 13 in Aitkin County, which drew approximately 100 participants. He shared social media metrics, noting that the

promotional post received 559 views and 13 interactions, while a post-event influencer video generated nearly 2,000 views and 39 interactions.

Commissioner Ramsrud asked whether there was a way for the MHB to fully utilize the AIS outreach budget of \$6,400 through additional social media boosting. Tim explained that effective boosting typically costs between \$40 and \$80 per post and that the full budget may not be necessary or practical to spend. He noted that any unused funds could be reallocated to staff time or other eligible project expenses.

The board also discussed other paddling events scheduled throughout the year, and Tim provided the dates of the upcoming events.

3. Tim: Spoke with Crow Wing SWCD about their upcoming intern hire and the possibility of the intern assisting with paddling events, particularly to provide safety support at the Cohasset event where Tim currently operates alone.

County Updates- None

M/S (Smith/Kasper) to adjourn. Motion carried unanimously.

Chair

Executive Director Tim Terrill

July SFY'27 Budget Summary

		YTD spending/rei mbursement	Projected Budget	% of budget spent	
Revenues:	Monthly Amount				Notes
Governor's DNR grant (53290)			\$ 124,000.00	0.00%	non competitive quarterly reimbursement
LSOHC grant (53290)	\$ 18,826.20	\$ 18,826.20	\$ 41,100.00	45.81%	Paula West, Wildlife Report, MHB reimbursement
Guidebook sales (58400)			\$ 100.00	0.00%	reimbursment for Guidebook sales
Miscell. Other revenue (58300)	\$ 4,000.00	\$ 4,000.00	\$ 21,507.00	18.60%	Cass AIS support
County Support (52990)			\$ 12,000.00	0.00%	8 county support
CD Investment account	\$ 150,000.00	\$ 150,000.00	\$ 150,000.00	100.00%	CD's
Total	\$ 172,826.20	\$ 22,826.20	\$ 348,707.00		
Expenses:					Notes
Salaries/Benefits					
FICA/Med/PERA/LIFE/LTD/Hlth/ WC(61000)	\$ 10,045.73	\$ 10,045.73	\$ 134,071.00	7.49%	reimbursed by Gov. DNR grant
MCIT insurance/work comp/liability (61500)			\$ 2,700.00	0.00%	reimbursed by Gov. DNR grant
MHB board Per Diem (62680)			\$ 3,000.00	0.00%	reimbursed by Gov. DNR grant
Hotel/Meals/travel exp. (63340)	\$ 27.88	\$ 27.88	\$ 500.00	5.58%	reimbursed by Gov. DNR grant
Commissioner Mileage (62720)			\$ 3,500.00	0.00%	reimbursed by Gov. DNR grant
Employee Mileage (63320)	\$ 623.43	\$ 623.43	\$ 5,500.00	11.34%	reimbursed by Gov. DNR grant
Professional Services (62990)	\$ 162,744.69	\$ 162,744.69	\$ 238,879.00	68.13%	Paula, Sherrif Water Permit, Hubbard SWCD, Certificate of Deposit, social media expense
Office supplies/operations (64090)	\$ 36.15	\$ 36.15	\$ 3,000.00	1.21%	printer ink, guidebook mailing cost
Telephone (621000)	\$ 62.20	\$ 62.20	\$ 840.00	7.40%	telephone
Training & Registration Fees (63380)			\$ 800.00	0.00%	
Total	\$ 173,540.08	\$ 173,540.08	\$ 392,790.00		

8/27/26 Fund Balance: \$99,836

Governor's DNR grant is always \$124K every year

ORG YR/PR	OBJECT PROJ JNL EFF DATE	SRC REF1	REF2	REF3	CHECK #	OB	AMOUNT	NET LEDGER BALANCE	NET BUDGET BALANCE
74830	53290	Natural Resources							
						REVISED BUDGET			.00
						PER 01	-61,594.54	-61,594.54	
						PER 04	-7,706.30	-69,300.84	
						PER 05	-22,948.28	-92,249.12	
26/07	601 07/17/26	GNI					-18,826.20	-111,075.32	
	ST OF MN	4-3000262121							
	LEDGER BALANCES --- DEBITS:			.00		CREDITS:	-111,075.32	NET:	-111,075.32
74830	58300	Miscellaneous Other Revenue							
						REVISED BUDGET			.00
						PER 01	-10,000.00	-10,000.00	
						PER 02	-21,000.00	-31,000.00	
						PER 03	-500.00	-31,500.00	
						PER 04	-1,000.00	-32,500.00	
26/07	233 07/01/26	GNI 935402	Britny.McC	64039			-4,000.00	-36,500.00	
	iNovah	CASS AIS FUNDING							
	LEDGER BALANCES --- DEBITS:			.00		CREDITS:	-36,500.00	NET:	-36,500.00
74830	61000	Salaries & Wages - Regular							
						REVISED BUDGET			.00
						PER 01	6,464.24	6,464.24	
						PER 02	6,464.23	12,928.47	
						PER 03	6,870.96	19,799.43	
						PER 04	6,658.16	26,457.59	
						PER 05	12,484.06	38,941.65	
						PER 06	6,658.16	45,599.81	
26/07	409 07/10/26	PRJ PR0710	1260710	1260710	1260		3,329.08	48,928.89	
	PAY071026	WARRANT=260710	RUN=1	BI-WEEKL					
26/07	865 07/24/26	PRJ PR0724	1260724	1260724	1260		3,329.08	52,257.97	
	PR072426	WARRANT=260724	RUN=1	BI-WEEKL					
	LEDGER BALANCES --- DEBITS:			52,257.97		CREDITS:	.00	NET:	52,257.97
74830	61200	Active Insurance							
						REVISED BUDGET			.00
						PER 01	2,448.52	2,448.52	
						PER 02	2,448.52	4,897.04	
						PER 03	2,450.13	7,347.17	
						PER 04	2,449.29	9,796.46	
						PER 05	2,472.30	12,268.76	

ACCOUNT DETAIL HISTORY FOR 2026 07 TO 2026 07

ORG YR/PR	OBJECT JNL	PROJ EFF DATE	SRC	REF1	REF2	REF3	CHECK #	OB	AMOUNT	NET LEDGER BALANCE	NET BUDGET BALANCE	
26/07	409	07/10/26	PRJ	PR0710	1260710	1260710	1260	PER 06	2,449.29	14,718.05		
	PAY071026	WARRANT=260710		RUN=1	BI-WEEKL				1,228.50	15,946.55		
26/07	865	07/24/26	PRJ	PR0724	1260724	1260724	1260		1,220.79	17,167.34		
	PR072426	WARRANT=260724		RUN=1	BI-WEEKL							
LEDGER BALANCES --- DEBITS:					17,167.34	CREDITS:		.00	NET:	17,167.34		
74830	61300	Employee Pension & FICA										
							REVISED BUDGET				.00	
							PER 01	908.91	908.91			
							PER 02	908.93	1,817.84			
							PER 03	970.53	2,788.37			
							PER 04	938.30	3,726.67			
							PER 05	1,633.65	5,360.32			
							PER 06	938.30	6,298.62			
26/07	409	07/10/26	PRJ	PR0710	1260710	1260710	1260		469.15	6,767.77		
	PAY071026	WARRANT=260710		RUN=1	BI-WEEKL							
26/07	865	07/24/26	PRJ	PR0724	1260724	1260724	1260		469.13	7,236.90		
	PR072426	WARRANT=260724		RUN=1	BI-WEEKL							
LEDGER BALANCES --- DEBITS:					7,236.90	CREDITS:		.00	NET:	7,236.90		
74830	62100	Telephone										
							REVISED BUDGET				.00	
							PER 01	60.86	60.86			
							PER 02	61.47	122.33			
							PER 03	61.85	184.18			
							PER 04	62.07	246.25			
							PER 05	62.01	308.26			
							PER 06	61.94	370.20			
26/07	560	07/21/26	API	006205		261959	44816		7.20	377.40		
	W C072126	COUNTY WIDE BILL				CONSOLIDATED TELECOM						
26/07	865	07/24/26	PRJ	PR0724	1260724	1260724	1260		55.00	432.40		
	PR072426	WARRANT=260724		RUN=1	BI-WEEKL							
LEDGER BALANCES --- DEBITS:					432.40	CREDITS:		.00	NET:	432.40		
74830	62990	Prof. & Tech. Fee - Other										
							REVISED BUDGET				.00	
							PER 01	15,419.01	15,419.01			
							PER 02	525.00	15,944.01			

ACCOUNT DETAIL HISTORY FOR 2026 07 TO 2026 07

ORG YR/PR	OBJECT JNL	PROJ EFF DATE	SRC REF1	REF2	REF3	CHECK #	OB	AMOUNT	NET LEDGER BALANCE	NET BUDGET BALANCE
						PER 03		1,104.00	17,048.01	
						PER 04		5,227.50	22,275.51	
						PER 05		9,436.48	31,711.99	
						PER 06		2,929.92	34,641.91	
26/07	331	07/07/26	API 101649		261403	1973085		7,552.50	42,194.41	
	W A070726	WEST INVOICE 4			WEST COMMUNICATIONS					
26/07	331	07/07/26	API 100373		261406	44754		25.00	42,219.41	
	W A070726	SHERIFF WATER PERMIT			CROW WING COUNTY SHE					
26/07	331	07/07/26	API 007203		261407	44755		4,625.32	46,844.73	
	W A070726	HUBBARD SWCD CONTRACT			HUBBARD COUNTY					
26/07	677	07/21/26	API 001040		262303	44874		150,000.00	196,844.73	
	W A072126	CERTIFICATE OF DEPOSIT			MID MN FEDERAL CREDI					
26/07	1062	07/27/26	GNI					179.00	197,023.73	
	BREM PCARD	social media ads								
		TIM TERRILL-FACEBK *HRG7ZVHYG2-social media ads								
26/07	1062	07/27/26	GNI					362.87	197,386.60	
	BREM PCARD	social media ads								
		TIM TERRILL-FACEBK *N9R8AVDYG2-social media ads								
	LEDGER BALANCES --- DEBITS:				197,386.60	CREDITS:	.00	NET:	197,386.60	
74830	63320	Employee Mileage								
						REVISED BUDGET				.00
						PER 01		282.80	282.80	
						PER 02		266.51	549.31	
						PER 03		179.80	729.11	
						PER 04		377.00	1,106.11	
						PER 05		232.00	1,338.11	
26/07	871	07/28/26	API 007742		262653	1973497		623.43	1,961.54	
	W OOP0626	JUNE MILEAGE			TERRILL,TIM					
	LEDGER BALANCES --- DEBITS:				1,961.54	CREDITS:	.00	NET:	1,961.54	
74830	63340	Hotel & Meals Travel Expense								
						REVISED BUDGET				.00
						PER 01		174.06	174.06	
						PER 02		12.58	186.64	
						PER 03		23.63	210.27	
						PER 04		35.51	245.78	
						PER 05		7.61	253.39	
						PER 06		10.62	264.01	
26/07	1062	07/27/26	GNI					10.84	274.85	
	BREM PCARD	radio interview meal								
		TIM TERRILL-CULVERS OF BEMIDJ12-radio interview meal								
26/07	1062	07/27/26	GNI					9.80	284.65	

ACCOUNT DETAIL HISTORY FOR 2026 07 TO 2026 07

ORG YR/PR	OBJECT PROJ JNL EFF DATE	SRC REF1	REF2	REF3	CHECK #	OB	AMOUNT	NET LEDGER BALANCE	NET BUDGET BALANCE
	BREM PCARD board meeting meal								
	TIM TERRILL-DAIRY QUEEN #12890-board meeting meal								
26/07	1062 07/27/26 GNI						7.24	291.89	
	BREM PCARD Senator Green meal								
	TIM TERRILL-STARBUCKS STORE 81579-Senator Green meal								
	LEDGER BALANCES --- DEBITS:			291.89	CREDITS:	.00	NET:	291.89	
74830	64090 Office Supplies								
					REVISED BUDGET				.00
					PER 02		57.08	57.08	
					PER 03		218.08	275.16	
					PER 04		26.95	302.11	
					PER 05		1.06	303.17	
26/07	1062 07/27/26 GNI						7.11	310.28	
	BREM PCARD guidebook mailing								
	TIM TERRILL-USPS PO 2611000401-guidebook mailing								
26/07	1062 07/27/26 GNI						29.04	339.32	
	BREM PCARD printer ink								
	TIM TERRILL-WAL-MART #1654-printer ink								
	LEDGER BALANCES --- DEBITS:			339.32	CREDITS:	.00	NET:	339.32	
	GRAND TOTAL --- DEBITS:			277,073.96	CREDITS:	-147,575.32	NET:	129,498.64	

22 Records printed

** END OF REPORT - Generated by Matthew Donley **

ACCOUNT DETAIL HISTORY FOR 2026 06 TO 2026 06

ORG YR/PR	OBJECT PROJ JNL EFF DATE	SRC REF1	REF2	REF3	CHECK #	OB	AMOUNT	NET LEDGER BALANCE	NET BUDGET BALANCE
74830	58300	Miscellaneous Other Revenue							
						REVISED BUDGET			.00
						PER 01	-10,000.00	-10,000.00	
						PER 02	-21,000.00	-31,000.00	
						PER 03	-500.00	-31,500.00	
						PER 04	-1,000.00	-32,500.00	
26/06	1480 06/29/26	GNI 934910	Britny.McC	64001			-26.15	-32,526.15	
	iNovah	Guide Book							
	LEDGER BALANCES --- DEBITS:			.00		CREDITS:	-32,526.15	NET:	-32,526.15
74830	61000	Salaries & Wages - Regular							
						REVISED BUDGET			.00
						PER 01	6,464.24	6,464.24	
						PER 02	6,464.23	12,928.47	
						PER 03	6,870.96	19,799.43	
						PER 04	6,658.16	26,457.59	
						PER 05	12,484.06	38,941.65	
26/06	483 06/12/26	PRJ PR0612	1260612	1260612	1260		3,329.08	42,270.73	
	PAY061226	WARRANT=260612	RUN=1 BI-WEEKL						
26/06	1181 06/26/26	PRJ PR0626	1260626	1260626	1260		3,329.08	45,599.81	
	PAY062626	WARRANT=260626	RUN=1 BI-WEEKL						
	LEDGER BALANCES --- DEBITS:			45,599.81		CREDITS:	.00	NET:	45,599.81
74830	61200	Active Insurance							
						REVISED BUDGET			.00
						PER 01	2,448.52	2,448.52	
						PER 02	2,448.52	4,897.04	
						PER 03	2,450.13	7,347.17	
						PER 04	2,449.29	9,796.46	
						PER 05	2,472.30	12,268.76	
26/06	483 06/12/26	PRJ PR0612	1260612	1260612	1260		1,228.50	13,497.26	
	PAY061226	WARRANT=260612	RUN=1 BI-WEEKL						
26/06	1181 06/26/26	PRJ PR0626	1260626	1260626	1260		1,220.79	14,718.05	
	PAY062626	WARRANT=260626	RUN=1 BI-WEEKL						
	LEDGER BALANCES --- DEBITS:			14,718.05		CREDITS:	.00	NET:	14,718.05

ACCOUNT DETAIL HISTORY FOR 2026 06 TO 2026 06

ORG YR/PR	OBJECT PROJ JNL EFF DATE	SRC REF1	REF2	REF3	CHECK #	OB	AMOUNT	NET LEDGER BALANCE	NET BUDGET BALANCE
74830	61300	Employee Pension & FICA							
						REVISED BUDGET			.00
						PER 01	908.91	908.91	
						PER 02	908.93	1,817.84	
						PER 03	970.53	2,788.37	
						PER 04	938.30	3,726.67	
						PER 05	1,633.65	5,360.32	
26/06	483 06/12/26	PRJ PR0612	1260612	1260612	1260		469.15	5,829.47	
	PAY061226	WARRANT=260612		RUN=1 BI-WEEKL					
26/06	1181 06/26/26	PRJ PR0626	1260626	1260626	1260		469.15	6,298.62	
	PAY062626	WARRANT=260626		RUN=1 BI-WEEKL					
	LEDGER BALANCES --- DEBITS:			6,298.62	CREDITS:		.00	NET:	6,298.62
74830	62100	Telephone							
						REVISED BUDGET			.00
						PER 01	60.86	60.86	
						PER 02	61.47	122.33	
						PER 03	61.85	184.18	
						PER 04	62.07	246.25	
						PER 05	62.01	308.26	
26/06	469 06/16/26	API 006205		260257	44526		6.94	315.20	
	W C061626	COUNTY WIDE BILL		CONSOLIDATED TELECOM					
26/06	1181 06/26/26	PRJ PR0626	1260626	1260626	1260		55.00	370.20	
	PAY062626	WARRANT=260626		RUN=1 BI-WEEKL					
	LEDGER BALANCES --- DEBITS:			370.20	CREDITS:		.00	NET:	370.20
74830	62680	Non-Employee Per Diems							
						REVISED BUDGET			.00
						PER 03	500.00	500.00	
						PER 04	150.00	650.00	
						PER 05	250.00	900.00	
26/06	1513 06/30/26	API 008091		260989	1972877		50.00	950.00	
	W A063026	MHB MEETING PER DIEM & MILEAGE BRYAN RAMSRUD							
26/06	1513 06/30/26	API 100532		260990	1972879		50.00	1,000.00	
	W A063026	MHB MEETING PER DIEM		MORRISON COUNTY AUDI					
26/06	1513 06/30/26	API 006995		260992	1972878		50.00	1,050.00	
	W A063026	MHB ME		CORY SMITH					
	LEDGER BALANCES --- DEBITS:			1,050.00	CREDITS:		.00	NET:	1,050.00

ACCOUNT DETAIL HISTORY FOR 2026 06 TO 2026 06

ORG YR/PR	OBJECT JNL	PROJ EFF DATE	SRC	REF1	REF2	REF3	CHECK #	OB	AMOUNT	NET LEDGER BALANCE	NET BUDGET BALANCE
74830	62720	Non-Employee Mileage									
							REVISED BUDGET				.00
							PER 03		669.97	669.97	
							PER 04		251.05	921.02	
							PER 05		84.10	1,005.12	
26/06	1513	06/30/26	API	008091		260989	1972877		74.10	1,079.22	
	W A063026	MHB MEETING PER DIEM & MILEAGE BRYAN RAMSRUD									
26/06	1513	06/30/26	API	006980		260991	44710		126.15	1,205.37	
	W A063026	MHB MEETING MILEAGE ROBERT F. KASPER									
26/06	1513	06/30/26	API	006995		260992	1972878		97.15	1,302.52	
	W A063026	MHB ME CORY SMITH									
	LEDGER BALANCES --- DEBITS:				1,302.52	CREDITS:		.00	NET:	1,302.52	
74830	62990	Prof. & Tech. Fee - Other									
							REVISED BUDGET				.00
							PER 01		15,419.01	15,419.01	
							PER 02		525.00	15,944.01	
							PER 03		1,104.00	17,048.01	
							PER 04		5,227.50	22,275.51	
							PER 05		9,436.48	31,711.99	
26/06	410	06/09/26	API	008590		259704	1972411		2,100.00	33,811.99	
	W A060925	JACOBSON CONTRACT 2 PETER JACOBSON									
26/06	1475	06/26/26	GNI						304.92	34,116.91	
	BREM PCARD	social media ads									
		TIM TERRILL-FACEBK *CRET9TRYG2-social media ads									
26/06	1674	06/30/26	GEN						525.00	34,641.91	
	RECURRING	FINANCIAL SERVICE									
	LEDGER BALANCES --- DEBITS:				34,641.91	CREDITS:		.00	NET:	34,641.91	
74830	63340	Hotel & Meals Travel Expense									
							REVISED BUDGET				.00
							PER 01		174.06	174.06	
							PER 02		12.58	186.64	
							PER 03		23.63	210.27	
							PER 04		35.51	245.78	
							PER 05		7.61	253.39	
26/06	1475	06/26/26	GNI						10.62	264.01	
	BREM PCARD	Bemidji clean up meal									
		TIM TERRILL-SUBWAY 6912-Bemidji clean up meal									
	LEDGER BALANCES --- DEBITS:				264.01	CREDITS:		.00	NET:	264.01	

ACCOUNT DETAIL HISTORY FOR 2026 06 TO 2026 06

ORG YR/PR	OBJECT JNL	PROJ EFF DATE	SRC	REF1	REF2	REF3	CHECK #	OB	AMOUNT	NET LEDGER BALANCE	NET BUDGET BALANCE
GRAND TOTAL --- DEBITS:					104,245.12	CREDITS:		-32,526.15	NET:	71,718.97	

19 Records printed

** END OF REPORT - Generated by Matthew Donley **



IMMEDIATE PRESS RELEASE 8/5/26

Media Contact

Tim Terrill

218-824-1189

timt@mississippiheadwaters.org

www.mississippiheadwaters.org

326 Laurel St.

Brainerd, MN 56401

Mississippi Headwaters Board (MHB) Adds Value to Publicly Funded Program

Paula West, Coordinator of the Mississippi Headwaters Habitat Corridor Program (MHHCP), presented the program's annual update, noting that the conservation initiative is now in its 10th year and has invested approximately \$35 million in habitat protection through Outdoor Heritage and Clean Water Fund appropriations. To date, the program has completed 65 conservation easements protecting 56 miles of shoreline and 13 fee-title acquisitions that have expanded state forests, county forests, Wildlife Management Areas, and Aquatic Management Areas. West reported that an additional \$2.7 million in funding will be received this year, with a \$5 million request submitted for the next funding cycle.

Tim Terrill reported that the Outdoor Heritage Council has asked grant recipients to establish measurable conservation outcomes in geographic focus areas, prompting the partnership to commission a Wildlife Report evaluating the relationship between watershed protection and wildlife habitat. The analysis concluded that protecting approximately 75% of a watershed provides substantial wildlife habitat benefits and produced a priority map identifying areas of highest conservation value throughout the Mississippi Headwaters region. Terrill explained that the map will guide future conservation efforts, support One Watershed, One Plan initiatives, and may also be adopted by the Minnesota Department of Natural Resources. The partnership will continue using its RAC (Riparian, Adjacent, Quality) scoring system to prioritize conservation projects, but the Wildlife Report and Map will allow the partnership to focus on areas where there is high conservation value.

The Mississippi Headwaters Board expressed appreciation for the program's continued efforts to advance the Board's conservation mission and supported its focus on voluntarily protecting the highest-priority habitat areas by targeting the "best of the best" conservation opportunities.

Minnesota Traditions's Post



Minnesota Traditions

Published by Tim Terrill · July 14 at 12:28 PM · 🌐

...

Keep your hands and feet in the boat!!! Some lady and her daughter were fishing from a kayak on the Mississippi in BRAINERD when she saw this. 😱😱

The Mississippi Headwaters Board is holding another paddling event in BRAINERD!

<https://www.mississippiheadwaters.org/events.asp>



Massive River Creature With Enormous Claws Freaks Out Mississippi Kayakers

Minnesota Traditions

Visit page

See insights and ads

Boost again

👍 138 💬 56 ➦ 17

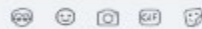


Most relevant ▾

See 1 more comment on Instagram



Comment as Minnesota Traditions



Overview

Views ⓘ

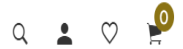
91.7K

Interactions ⓘ

218

Link clicks ⓘ

1.4K

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We Are Water MN

Events

During the We Are Water MN exhibit, we are hosting several events to invite visitors to engage with one another and connect with water.

The We Are Water MN exhibit will be open for viewing during events taking place at GRA.

• August 6- October 3: Art-Words II Exhibition

- View water themed artwork by local and regional visual artists and writers in this community exhibition at [Great River Arts](#).

• August 15, 11-1 pm: Art-Words II Reception

- Celebrate the work of the Art-Words II artists. Reception includes a presentation of written pieces and celebration of the We Are Water MN exhibition at [Great River Arts](#).

• August 15, 2:30- 5 pm: Mississippi History Paddle

- Bring your own kayak, canoe, or Paddleboard and enjoy a peaceful paddle on the Mississippi River from [Lum Park to Kiwanis Park](#). Along the way you can stop and view signage on the Mississippi river of where past structures and events took place that helped shape this community. This event is put on by the Mississippi Headwaters Board. Learn more at the [Mississippi Headwaters Board website](#).

<https://areatart.org/baees/artv>



AGENDA

THE **BOARD OF ADJUSTMENT** WILL ASSEMBLE FOR A HEARING OF APPEALS FROM THE AITKIN COUNTY ZONING ORDINANCE ON August 5, 2026 **AT 2:00 P.M.** IN THE **AITKIN COUNTY GOVERNMENT CENTER BOARD ROOM, 307 SECOND STREET NW, AITKIN, MN 56431**. THE FOLLOWING APPLICATIONS WILL BE REVIEWED.

1. Call the meeting to order.
2. Roll call.
3. Approve the agenda for the August 5, 2026 Board of Adjustment meeting.

Old Business:

4. BRENT & SUSAN EILEFSON, 16738 DAKOTA ST NW, ANDOVER, MN 55304, are requesting a variance from the required 30 foot bluff setback; a variance from the maximum allowed 15% building coverage to a coverage of 22%; a variance from the maximum allowed 25% impervious surface coverage to a coverage of 36.5%; and a variance from Section 7.35 (A) of the Shoreland Management Ordinance for excavation to construct a 2033 square foot residence located within the bluff, in an area zoned shoreland. LOT 3 KINNEYS ADDITION, Section Seventeen (17), Township Forty-nine (49), Range Twenty-three (23), Aitkin County, MN.

APP-2026-000215

New Business:

5. AITKIN COUNTY, 209 2ND ST NW, AITKIN, MN 56431, are requesting a variance from the required 50 foot County road right-of-way setback to a setback distance of 27 feet to construct a 2160 square foot accessory building, in an area zoned shoreland. ALL THAT PART OF LOT 10 AS IN BK 57 DDS P 429 LESS PART IN DOC 411996. Section Twenty-four (24), Township Forty-seven (47), Range Twenty-seven (27), Aitkin County, MN.

APP-2026-000274

6. NANCY EIDSMO & ANN CALDERON, 5824 ZENITH AVE S, MINNEAPOLIS, MN 55410, are requesting a variance from the required 100 foot ordinary high water level setback on a recreational development lake (Nord) to a setback distance of 46 feet; a variance from the maximum allowed 15% building coverage to a coverage of 15.8%; and a variance from the maximum allowed 25% impervious surface coverage to a coverage of 35% to construct a 1083 square foot residence addition and a 40 square foot deck addition on an existing nonconforming residence located 33 feet from the ordinary high water level, which is in the shore impact zone. .40 AC OF LOT 6 IN DOC 369396. Section Five (5), Township Forty-six (46), Range Twenty-six (26), Aitkin County, MN.

APP-2026-000276

7. SHANE & COLLEEN THORN, 8125 35TH AVE N, CRYSTAL, MN 55427, are requesting a variance from the required 150 foot ordinary high water level setback on a natural environment lake (Cedar) to a setback distance of 38 feet to construct a 1050 square foot residence, which is in the shore impact zone. W 75 FT OF E 225 FT EXCEPT N 80 RDS LOT 1 IN BK 104 DDS PG 481. Section Seven (7), Township Forty-three (43), Range Twenty-four (24), Aitkin County, MN.

APP-2026-000249

8. JOHN C & CLAUDIA C MEEHAN TRUSTEES, 44146 TAME FISH LAKE RD, AITKIN, MN 56431, are requesting a variance from the required 100 foot ordinary high water level setback on a recreational development lake (Farm Island) to a setback distance of 58 feet to construct a 2400 square foot accessory structure, in an area zoned shoreland. PART OF LOT 3 N OF ROAD LESS CO RD ROW & LESS E 727.21 FT. Section Eight (8), Township Forty-five (45), Range Twenty-seven (27), Aitkin County, MN.

APP-2026-000261

9. MARK & JANICE LEFEBVRE, 43242 310TH PLACE, PALISADE, MN 56469, are requesting an after the fact variance from Section 6.22 (B) of the Shoreland Management Ordinance for a water-oriented accessory structure on a parcel not meeting lot size requirements, in an area zoned shoreland. LOT 2 AND PT OF LOT 1 AS IN DOC 483072. Section Sixteen (16), Township Forty-eight (48), Range Twenty-five (25), Aitkin County, MN.

APP-2026-000260

10. STEPHEN & LORI SCHOENBORN, 5704 NELMARK AVE NE, SAINT MICHAEL, MN 55376, are requesting a variance from the required 30 foot bluff setback to a setback distance of 3 feet to construct a 196 square foot accessory structure, in an area zoned shoreland. PART OF LOT 1 IN DOC 440068. Section Nine (9), Township Forty-six (46), Range Twenty-five (25), Aitkin County, MN.

APP-2026-000265

11. VANCE & PAMELA WEISS, 19250 GOSHAWK ST, MCGREGOR, MN 55760, are requesting a variance from the required 75 foot ordinary high water level setback on a general development lake (Minnewawa) to a setback distance of 68 feet to construct a 1024 square foot residence addition, in an area zoned shoreland. LOTS 12, 12 1/2, 13 & 13 1/2. Section Thirty-three (33), Township Forty-nine (49), Range Twenty-three (23), Aitkin County, MN.

APP-2026-000263

12. DANIEL & PATRICIA LANG, 17138 US HWY 169, MILACA, MN 56353, are requesting a variance from the required 100 foot ordinary high water level setback on a recreational development lake (Big Pine) to a setback distance of 63 feet to construct a 512 square foot residence addition on an existing nonconforming residence located 53 feet from the ordinary high water level, in an area zoned shoreland. LOT 3 BUCHANAN BEACH. Section Twenty-eight (28), Township Forty-five (45), Range Twenty-seven (27), Aitkin County, MN.

APP-2026-000273

13. THOMAS & ANN MYERS, 9626 UPPER 205TH ST, LAKEVILLE, MN 55044, are requesting a variance from the required 100 foot ordinary high water level setback on a recreational development lake (Cedar) to a setback distance of 71 feet to construct a 2316 square foot residence, in an area zoned shoreland. LOT 18 & PRIVATE ROAD AS IN DOC 312423 LESS S 25 FT & LESS PART E OF ROAD, S 25 FT OF LOT 18, AND LOT 19. Section Thirty-two (32), Township Forty-seven (47), Range Twenty-seven (27), Aitkin County, MN.

APP-2026-000277

14. MILLE LACS BAND OF OJIBWE, 700 GRAND AVE, ONAMIA, MN 56359, are requesting an after the fact variance from Section 5.05 (A) of the Zoning Ordinance to exceed the maximum allowed square footage and height of a sign. S 30 AC OF SW OF SW LESS RW & 1.59 AC HY. Section Twenty (20), Township Forty-seven (47), Range Twenty-three (23), Aitkin County, MN.

APP-2026-000272

15. Approval of minutes, July 1, 2026.

16. Adjourn.

AITKIN COUNTY ZONING



Variance Variance App. # 2026-000274, UID # 226639
App. Status: Pending Review

Aitkin County Planning & Zoning / Environmental Services
307 Second St. NW Room 219, Aitkin, MN 56431
Email: aitkinpz@aitkincountymn.gov
Phone: 218-927-7342
Fax: 218-927-4372

Contact Information

Applicant Contact Info:	Name:
	Jim
	Phone:
	(218) 927 - 7363
	Email Address:
	jim.bright@co.aitkincountymn.gov
Mailing Address:	
	209 2nd ST. NW Aitkin MN 56431
Are you the property owner?	<u>No</u>

Authorized Agent

Please attach the completed authorized agent form:	  P_Z_Authorized_Agent_Form-david.minke_aitkincountymn.gov.pdf
Property Owner Email Address:	jim.bright@co.aitkincountymn.gov

Property Location

Property:	Property Location								Property Attributes	
	Parcel Number	Property Address	Township or City Name	Owner Name(s)	Taxpayer Name(s)	Legal Description	Plat Name	Section-Township-Range	Lake Class	Lake Name
	01-0-054802	66 AIR PARK DR AITKIN MN 56431	AITKIN TWP	AITKIN COUNTY	AITKIN COUNTY	ALL THAT PART OF LOT 10 AS IN BK 57 DDS P 429 LESS PART IN DOC 411996		S:24 T:47 R:27	RIV	Mississippi River

Driving directions to the proposed project from Aitkin:	From the stoplight in Aitkin go North 4 blocks to Air Park Drive (CO. RD 54) and take a right on Air Park Drive. The parcel sits on the north side of the road fast of the river boat and west of Aitkin Farm and Feed on the fairgrounds property.
Is the above parcel located in the Shoreland Zoning District?	<u>No</u>

Detailed Narrative

Enter a Detailed Narrative (If you have a prepared narrative please state "See attached" and attach the document below):	I'm requesting a variance to rebuild a building that was destroyed by straight line winds on May 11, 2022. This is the highest part of the fairgrounds and we have been working with FEMA to establish the best location for the building. The old building was feet from the center of County Road 54 and we are moving it North as far as we can and the new building will be feet from the center of CO. RD 54. This will be a maintenance building that houses equipment and supplies for the fair. No living quarters or running water.
Provide the Ordinance(s) and the Section(s) of the Ordinance(s) from which you are requesting a variance:	6.2

Supplemental Data

Attach completed form here:	File 1: Supplemental_Data.pdf
-----------------------------	---

A Scaled Drawing or Survey

Attach a Scaled Drawing or Survey:	File 1: 20260709144412.pdf File 2: 2946_001.pdf
------------------------------------	--

Side Profile Sketch of the Structure

Attach a side profile sketch of your proposed structure or addition here (if applicable):	File 1: MAINTENANCE_BUILDING_PLAN_2026.pdf
---	--

Certificate of Septic Compliance

Attach a copy of one of the following, if applicable: - A current compliance inspection on an existing septic system. - A design for a new/replacement septic system.	File 1: Not_Applicable_4.pdf
---	--

Shoreland Performance Worksheet

Complete the Shoreland Performance Worksheet and attach here:

File 1:  [Not_Applicable_4.pdf](#)

Standard Erosion Control Plan

Attach the completed Standard Erosion Control Plan here:

File 1:  [Erosion_control.pdf](#)

Property Deed

Attach the property deed:

File 1:  [2917_001.pdf](#)

Other

Attach "Other" information (if necessary):

File 1:  [11_Air_Park_Drive_-_supplemental_data_2_1.pdf](#)

File 2:  [2916_001.pdf](#)

Terms

General Terms

The landowner or authorized agent hereby certifies that to the best of their knowledge the application and supporting documents are a factual representation of the proposed project. The landowner or authorized agent agrees that, in making application, the landowner grants permission to Aitkin County, at reasonable times, to enter the property to determine compliance of the application with applicable Local, County or State Ordinances or Statutes. It is the applicant's responsibility to contact other Local, County or State agencies to ensure the applicant has complied with all relevant Local, County or State Ordinances or Statutes.

Submittal of the above materials does not always constitute a complete application. Other information may be necessary to complete the application based on the type of request and onsite inspection.

I acknowledge that by submitting this application, the application and its attachments are public information.

Invoice #75274 (06/15/2026) Expected Payment Method: Unknown

Charge	Cost	Quantity	Total
Recording Fee added 07/10/2026 8:50 AM (Nonrefundable)	\$46.00	x 1	\$46.00
Variance added 07/10/2026 8:50 AM (Nonrefundable)	\$650.00	x 1	\$650.00
Grand Total			
Total			\$696.00
Payment 07/10/2026			\$696.00
Due			\$0.00

Results ([Go to top](#))

Signature accepted

Failed to send [Variance Ready for Action](#) notification to:**Approvals**

Approval	Signature
----------	-----------

Applicant	James E. Bright - 07/10/2026 11:35 AM 76d31e2aaa27883e475d6b8a2702fb0f fd6ee235201d847d4f2b412a0acf77db
#1 Administrative Review	Kim Burton - 07/10/2026 11:37 AM 12a55f502bd485bcd69f2c599d7bb4d6 e77ab4f8046822b77e6789f880ce5fb7
#2 Board of Adjustment Approval	

Public Notes

Text:	
File(s):	

Admin Checklist

This review has been started by:	Kim Burton ▼
Zoning District of project location:	Shoreland ▼
Project located in the floodplain?	Yes ▼

Is the parcel a Lot of Record before 1-21-92 or have alternate sites been identified?	Yes ▼
Is this an after-the-fact application?	No ▼

Numbers

	Current Number	Next from Sequence
UID #	226639	<i>not applicable</i>
App. #	2026-000274	«« 2026-000275
Permit #		«« 2026-0231

[Print View](#)



**AITKIN COUNTY ENVIRONMENTAL SERVICES
PLANNING & ZONING**

Aitkin County Government Center
307 2nd Street NW, Room 219
Aitkin, MN 56431

aitkinpz@aitkincountymn.gov
Phone: 218-927-7342
Fax: 218-927-4372

AUTHORIZED AGENT FORM

I hereby authorize the agent named below to act as my authorized agent for all public hearing applications and land use permits on property located at:

Parcel Numbers(s):	01-0-054804, 01-0-054802
E911 Address of Property:	66 Airpark Drive, Aitkin, MN 56431

Authorized Agent Information:

Agent name:	Jim Bright <i>J Bright</i>
-------------	----------------------------

Property Owner Information:

Property Owner Signature:	<i>David J. Minke</i>	Date:	06 / 17 / 2026
---------------------------	-----------------------	-------	----------------

David J. Minke, County Administrator

Title	P&Z Authorized Agent Form
File name	P_Z_Authorized_Agent_Form_6-17-2026.pdf
Document ID	27a86f50686b826dca0179ac053155852d541b54
Audit trail date format	MM / DD / YYYY
Status	● Signed

Document History



SENT

06 / 17 / 2026

13:13:06 UTC

Sent for signature to David J. Minke, County Administrator
(david.minke@aitkincountymn.gov) from
bobbie.danielson@co.aitkin.mn.us
IP: 151.111.12.13



VIEWED

06 / 17 / 2026

13:28:32 UTC

Viewed by David J. Minke, County Administrator
(david.minke@aitkincountymn.gov)
IP: 166.205.126.10



SIGNED

06 / 17 / 2026

13:29:01 UTC

Signed by David J. Minke, County Administrator
(david.minke@aitkincountymn.gov)
IP: 166.205.126.10



COMPLETED

06 / 17 / 2026

13:29:01 UTC

The document has been completed.

PART I: SUPPLEMENTAL DATA TO VARIANCE APPLICATION

Aitkin County Environmental Services

307 Second St. NW, Room 219, Aitkin, MN 56431

Phone: 218.927.7342 Fax: 218.927.4372

www.co.aitkin.mn.us

Note: Place an "X" by each item below that applies to your variance request. Then, fill out **only** the applicable following section(s) that apply, as directed. **If a section does not apply to your request, leave it blank.**

What is the reason(s) for applying for the variance? Place an "X" by each applicable item.

- ☒ Setback issues for a proposed new structure: **Complete Section 1**
- ☐ Setback issues for an alteration to an existing nonconforming structure: **Complete Section 2**
- ☐ Setback issues for a septic system: **Complete Section 3**
- ☐ Land alteration: **Complete Section 4**
- ☐ Creating a lot not in conformance with the minimum Ordinance standards: **Complete Section 5**
- ☐ Other: attach separate sheet explaining variance request

Section 1 – New Structure(s)

Check all that apply and fill in requested information:

- | | |
|--|--|
| ☐ Basement | ☒ One Story Level |
| ☐ Crawlspace | ☐ Story-and-a-Half Level |
| ☐ Walk-out Basement | ☐ 2 nd Story Level |

Proposed # of Bedrooms N/A Proposed Structure Height 19 ft.

Existing Total Building Coverage N/A % Proposed Total Building Coverage ____ %

Existing Total Impervious Surface Coverage N/A % Proposed Total Impervious Surface Coverage ____ %

"Building Coverage" means the ground surface covered by any building or appurtenance, including, but not limited to, decks, platforms, overhangs and projections therefrom, outdoor furnaces, fishhouses, sheds, carports, lean-to's, or any similar building. –as per the Aitkin County Shoreland Management Ordinance.

"Impervious surface coverage" means any structure, facility or surface that sheds water including structures and facilities, sewage treatment system absorption areas (equal to 190 sq.ft./bedroom), retaining walls, and roadway surfaces and parking areas. Impervious surface does not include eaves of two feet and less. – Per the Aitkin Count Shoreland Management Ordinance.

Itemized square footage of proposed structure(s):

2,160 Sq.Ft storage Building

Check the item(s) from which you are requesting a variance and fill in the proposed setback distance. * Setbacks are measured to the nearest point on a structure which can be the eave overhang or an attached deck/platform.

Proposed Structure Type (indicate with or without living quarters) without living quarters

☐ Ordinary High Water Level (OHWL)	Proposed Setback ft.
☐ Property Line	Proposed Setback ft.
☒ Road Right-of way Twp ☒ Co. State	Proposed Setback <u>27</u> ft.
☐ Bluff	Proposed Setback ft.
☐ Other:	Proposed Setback ft.

Section 2 – Alteration(s) to Existing Nonconforming Structure(s)

Check all that apply and fill in requested information:

Existing Structure

☐ Basement
☐ Crawlspace
☐ Walk-out Basement
☐ One Story Level
☐ Story-and-a-Half Level
☐ 2nd Story Level

Existing Structure Height ft.
 Existing # of Bedrooms
 Existing Building Coverage %
 Existing Total Impervious Surface Coverage %

Proposed Addition(s)

☐ Basement
☐ Crawlspace
☐ Walk-out Basement
☐ One Story Level
☐ Story-and-a-Half Level
☐ 2nd Story Level

Proposed Addition(s) Height ft.
 Final # of bedrooms after remodel
 Proposed Building Coverage %
 Proposed Total Impervious Surface Coverage %

“Building Coverage” means the ground surface covered by any building or appurtenance, including, but not limited to, decks, platforms, overhangs and projections therefrom, outdoor furnaces, fishhouses, sheds, carports, lean-to’s, or any similar building. –as per the Aitkin County Shoreland Management Ordinance.

“Impervious surface coverage” means any structure, facility or surface that sheds water including structures and facilities, sewage treatment system absorption areas (equal to 190 sq.ft./bedroom), retaining walls, and roadway surfaces and parking areas. Impervious surface does not include eaves of two feet and less. – Per the Aitkin Count Shoreland Management Ordinance.

Itemized square footage of proposed structure(s):

Check the item(s) from which you are requesting a variance and fill in the proposed setback distance. * Setbacks are measured to the nearest point on a structure which can be the eave overhang or an attached deck/platform.

Proposed Alteration Type _____

_____ Ordinary High Water Level (OHWL)	Existing Setback _____ ft.	Proposed Setback _____ ft.
_____ Property Line	Existing Setback _____ ft.	Proposed Setback _____ ft.
_____ Road Right-of way __ Twp __ Co. __ State	Existing Setback _____ ft.	Proposed Setback _____ ft.
_____ Bluff	Existing Setback _____ ft.	Proposed Setback _____ ft.
_____ Other: _____	Existing Setback _____ ft.	Proposed Setback _____ ft.

Section 3 – Septic System

Check the item(s) from which you are requesting a variance and fill in the proposed setback distance.

_____ Ordinary High Water Level (OHWL)	Proposed Setback _____ ft.
_____ Property Line	Proposed Setback _____ ft.
_____ Road Right-of way __ Twp __ Co. __ State	Proposed Setback _____ ft.
_____ Bluff	Proposed Setback _____ ft.
_____ Other: _____	Proposed Setback _____ ft.

Section 4 – Land Alteration

What is your land alteration? Check all categories that apply and indicate the total amount of excavation or placement of fill.

_____ More than 10 cubic yards on steep slopes and shore and bluff impact zones.	Total Cubic Yds. _____
_____ Other: _____	Total Cubic Yds. _____

Section 5 – Creating Nonconforming Lot(s)

Check the item(s) from which you are requesting a variance and fill in the proposed dimensions.

_____ Property Width	Proposed Property Width _____
_____ Property Area	Proposed Property Area _____
_____ (2) Standard Septic Sites	
_____ Legal Access	

AITKIN COUNTY

BOARD OF ADJUSTMENT

CERTIFICATE OF SURVEY CHECKLIST

This checklist is to be used by the Land Surveyor as guidance when preparing a Certificate of Survey for submittal. The existing conditions information shall be located by field observations during the survey and shown on the Certificate of Survey. This information shall be included for the property surveyed and adjoining property within 25 feet of the property lines. A copy of this checklist shall be signed by the surveyor and attached to all submittals to Aitkin County.

Items Shown on certificate

-
- | | |
|---------------|---|
| <u>TB</u> | 1. Legal Description |
| <u>TB</u> | 2. Property Boundary |
| <u>TB</u> | 3. Boundary Monumentation not more than 200 feet between monuments, or approval by the zoning office. |
| <u>TB</u> | 4. Location and perimeter dimensions, to the nearest foot, of all structures, including principal buildings, outbuildings, sheds, decks, fences and signs |
| <u>N/A</u> | 5. Location of the septic system |
| <u>N/A</u> | 6. Location of the well(s) |
| <u>N/A</u> | 7. Location of retaining wall(s) |
| <u>TB</u> | 8. Location of existing ingress, egress drives and parking areas |
| <u>N/A</u> | 9. Location of and dimensions of all existing easements affecting the property |
| <u>TB</u> | 10. Location of all other impervious areas, such as, sidewalks, patios, stairways and lifts |
| <u>TB</u> | 11. Elevations to depict a 2-foot contour interval with spot elevations to show the lowest floor elevation of all structures and the lowest adjacent grade of all structures to the nearest tenth of a foot; elevations shall be on NAVD 1929 datum (if applicable) |
| <u>N/A TB</u> | 12. Location of all wetlands on the property; wetlands shall be delineated by a Certified Wetlands Specialist (if applicable) |
| <u>N/A TB</u> | 13. Location of the Ordinary High Water (OHW) line, if the property adjoins public water. This line shall be located by elevation and tied to the boundary lines of the property; a Bench Mark shall be established on the Property |
| <u>TB</u> | 14. Location of any visible encroachments from or onto the property |
| <u>TB</u> | 15. Location and width of adjoining public streets or public and private road easements |
| <u>N/A TB</u> | 16. Location of significant vegetation that would be affected by the application |

- N/A TB 17. Location of any Bluffs on the property in accordance with the current ordinance; both the toe and top of the Bluff shall be shown and labeled
- TB 18. Location of all floodplain zone boundaries
- TB 19. Location and dimensions of proposed structures, including principal buildings, outbuildings, sheds, decks, fences and signs
- N/A TB 20. Location of proposed septic systems (2 soil borings per proposed lot)
- N/A TB 21. Location of proposed retaining wall(s)
- N/A TB 22. Location and dimensions for proposed ingress, egress and parking areas
- N/A TB 23. Location, dimensions, width and purpose of proposed easements that affect or serve the Property
- 2 TB 24. The current zoning classification of the Property and adjoining properties
- TB 25. Building setback lines in accordance with the current County Ordinances
- TB 26. Area of Property
- TB 27. Impervious surface calculations: the total area, in square feet and as a percentage of the total lot area, shall be shown for both the existing and proposed impervious surfaces on the Property.
- TB 28. The E911 address and the Tax Property Identification Number (PID) for the Property shall be shown on the Certificate of Survey
- TB 29. North Arrow, Basis of Bearings, Vertical Datum, Written Scale and Bar Scale shall be shown; the scale of the drawing shall be of a size to legibly depict all items required; more than 1 sheet may be used.
- TB 30. Other items that are deemed significant and that could affect the property or adjoining properties by the proposed application as deemed necessary by the Zoning Administrator, Board of Adjustment and/or Aitkin County
- TB 31. Drawing Submittal

Signature of Surveyor

Terry J Betley

MN License No.

15811

Date

7/6/2024

Proper preparation of the Certificate of Survey will aid the Board of Adjustment. A negative answer to any of the above items may prompt the Board to request additional information from the applicant.

DEPARTMENT OF HOMELAND SECURITY - FEDERAL EMERGENCY MANAGEMENT AGENCY
ELEVATION FORM

O.M.B. NO. 1660-0015
Expires February 28, 2014

PAPERWORK BURDEN DISCLOSURE NOTICE

Public reporting burden for this data collection is estimated to average 1.25 hours per response. The burden estimate includes the time for reviewing instructions, searching existing data sources, gathering and maintaining the needed data, and completing and submitting the form. This collection is required to obtain or retain benefits. You are not required to respond to this collection of information unless a valid OMB control number is displayed on this form. Send comments regarding the accuracy of the burden estimate and any suggestions for reducing this burden to: Information Collections Management, Department of Homeland Security, Federal Emergency Management Agency, 1800 South Bell Street, Arlington, VA 20598-3005, Paperwork Reduction Project (1660-0015). **NOTE: Do not send your completed form to this address.**

This form must be completed for requests and must be completed and signed by a registered professional engineer or licensed land surveyor. **A DHS - FEMA National Flood Insurance Program (NFIP) Elevation Certificate may be submitted in lieu of this form for single structure requests.**

For requests to remove a structure on natural grade OR on engineered fill from the Special Flood Hazard Area (SFHA), submit the lowest adjacent grade (the lowest ground touching the structure), **including an attached deck or garage**. For requests to remove an entire parcel of land from the SFHA, provide the lowest lot elevation; or, if the request involves an area described by metes and bounds, provide the lowest elevation within the metes and bounds description. All measurements are to be rounded to nearest tenth of a foot. In order to process your request, all information on this form must be completed **in its entirety**. Incomplete submissions will result in processing delays.

1. NFIP Community Number: 270628 Property Name or Address: **11 Air Park DR - Aitkin Minnesota 56431**
2. Are the elevations listed below based on ☐ existing or ☒ proposed conditions? (Check one)
3. For the existing or proposed structures listed below, what are the types of construction? (check all that apply)
☐ crawl space ☒ slab on grade ☐ basement/enclosure ☐ other (explain)
4. Has DHS - FEMA identified this area as subject to land subsidence or uplift? (see instructions) ☐ Yes ☒ No
If yes, what is the date of the current re-leveling? / (month/year)
5. What is the elevation datum? ☐ NGVD 29 ☒ NAVD 88 ☐ Other (explain)
If any of the elevations listed below were computed using a datum different than the datum used for the effective Flood Insurance Rate Map (FIRM) (e.g., NGVD 29 or NAVD 88), what was the conversion factor?
Local Elevation +/- ft. = FIRM Datum
6. Please provide the Latitude and Longitude of the most upstream edge of the **structure** (in decimal degrees to the nearest fifth decimal place):
Indicate Datum: ☐ WGS84 ☒ NAD83 ☐ NAD27 Lat. Long.
Please provide the Latitude and Longitude of the most upstream edge of the **property** (in decimal degrees to the nearest fifth decimal place):
Indicate Datum: ☐ WGS84 ☒ NAD83 ☐ NAD27 Lat. **46.53784** Long. **-93.70578**

Address	Lot Number	Block Number	Lowest Lot Elevation*	Lowest Adjacent Grade To Structure	Base Flood Elevation	BFE Source
11 Air Park Dr				1204.9*	1203.0	FIS
Structure(Residence)		* 2nd Generation DNE LIDAR				1996

This certification is to be signed and sealed by a licensed land surveyor, registered professional engineer, or architect authorized by law to certify elevation information. All documents submitted in support of this request are correct to the best of my knowledge. I understand that any false statement may be punishable by fine or imprisonment under Title 18 of the United States Code, Section 1001.

Certifier's Name: Terry J. Belley, LS	License No.: 15811	Expiration Date: 06/30/2028
Company Name: AITKIN COUNTY ABSTRACT COMPANY, INC	Telephone No.: 218-927-6359	
Email: terry.belley@gmail.com	Fax No. 218-927-6211	
Signature: TERRY J BELLEY	Date: 07/06/2026	

Terry J Belley, RLS
Minnesota Reg. No. 15811
112 3rd Street Northwest, Aitkin MN
56431

Seal (optional)

* For requests involving a portion of property, include the lowest ground elevation within the metes and bounds description.
Please note: If the Lowest Adjacent Grade to Structure is the only elevation provided, a determination will be issued for the structure only.



*The Board of Architecture, Engineering,
Land Surveying and Landscape Architecture
herewith certifies that
Gerry J. Betley
is duly registered and is hereby authorized to
practice in the State of Minnesota as a
Land Surveyor
while this certificate remains
unrevoked or unexpired*

*In testimony whereof this certificate No. 45841
has been issued, and the Seal of the Board affixed
this twelfth day of January, 1983
at St. Paul, Minnesota*



H. Leigh Morrow
Chairman
E. A. Davies
Secretary

RECORDED
TRACT INDEX
GRANTOR
GRANTEE
COMPARED

COUNTY RECORDER
AITKIN COUNTY, MINNESOTA

FILED

MAY 22 1902 P M

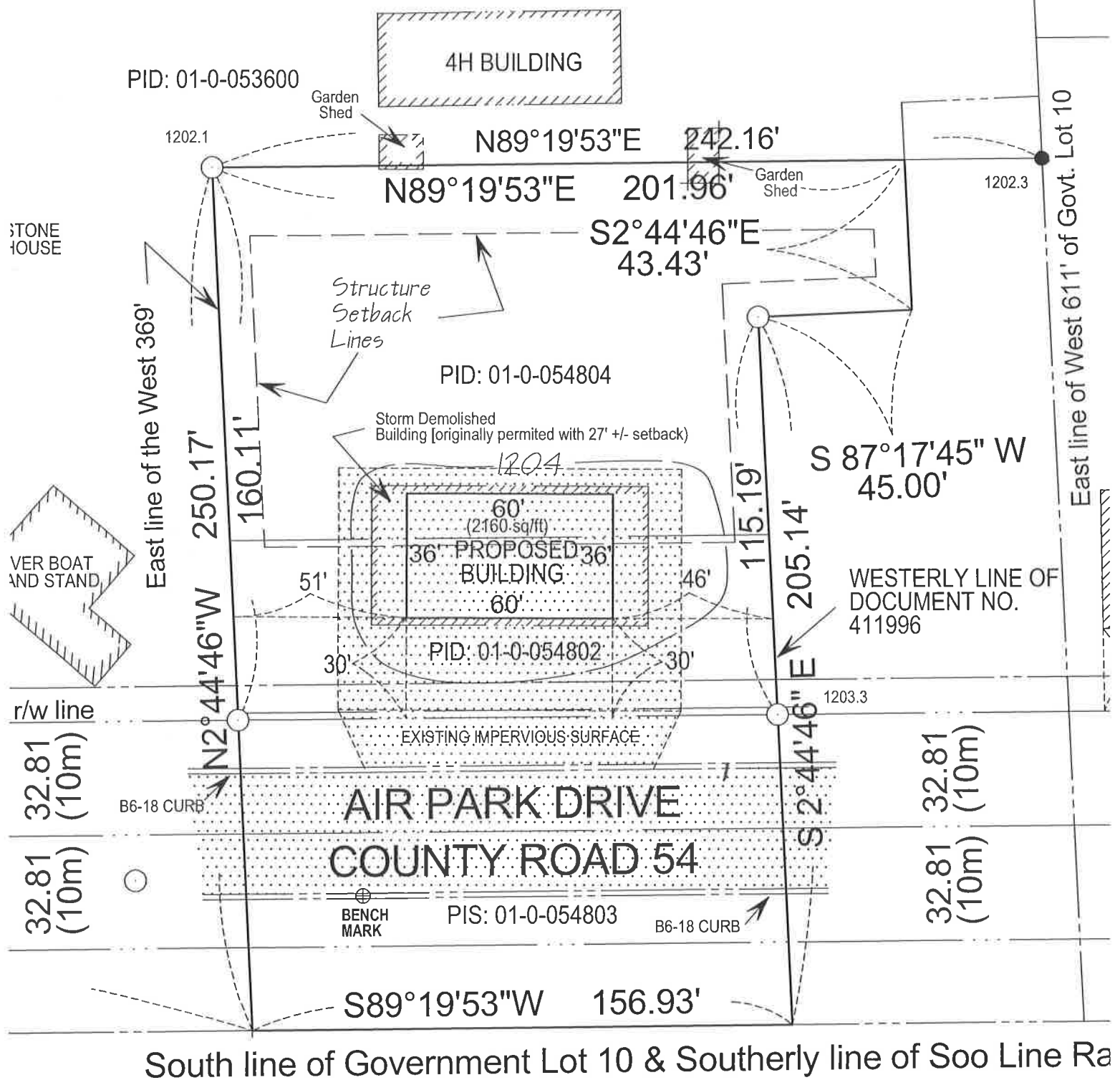
County Recorder
As Doc. No.

261665

Terry J Betley, RLS
Minnesota Reg. No. 15811
112 3rd Street Northwest, Aitkin MN
56431

RECORDED AS REQUESTED
BY AITKIN COUNTY COMMISSIONERS
AND JOHN LEITHNER - COUNTY ATTORNEY
SUBSEQUENT TO APPOINTMENT
7/6/2026

611.40'



contours shown, NO BLUFF as defined by ordinance.

Flood Insurance Rate Map indicates that
structures & proposed REVISIONS are located in
270628 0240C FEBRUARY 2, 1996.

footage of proposed structure is shown.

setbacks of proposed structure from boundaries are shown.

Setbacks, if any, will be delineated by Brinks Wetland Services, LLC
contours shown.

Terry J. Betley, RLS
Minnesota Reg. No. 15811
112 3rd Street Northwest, Aitkin MN
56431

Terry J. Betley
Land Surveyor
Aitkin County Abstract
112 Third Street North
Aitkin, Minnesota 56431

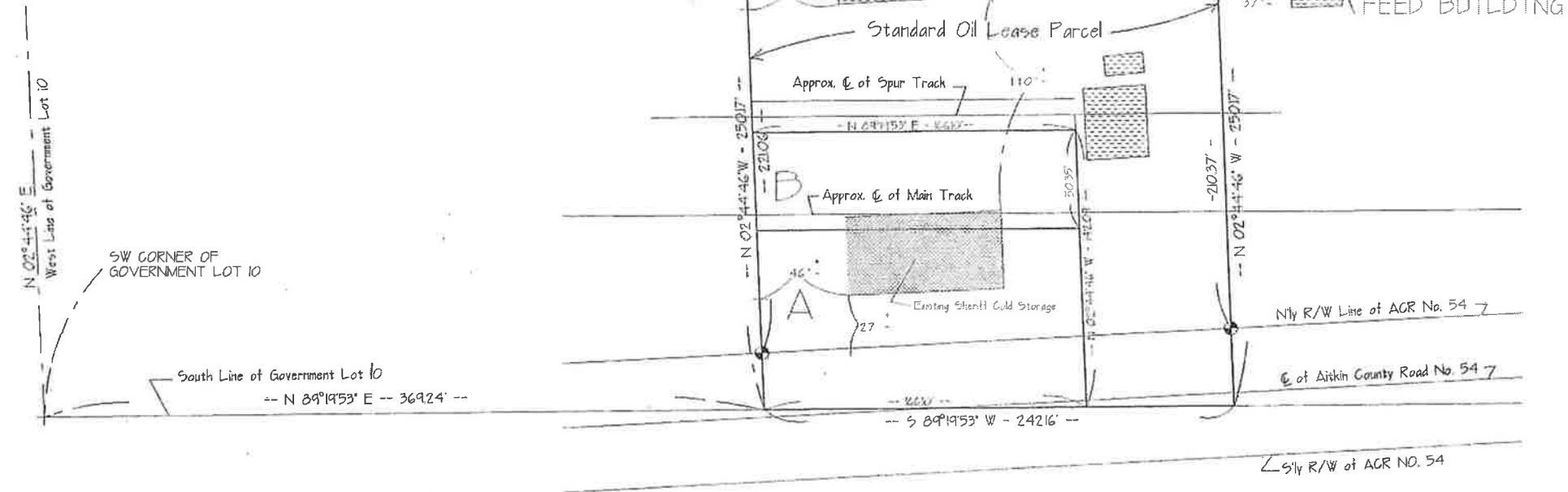
Graphic Scale: 1 inch = 50 feet

0 25 50

NAD 1983 HARN ADJ. AL

CERTIFICATE OF SURVEY

OF A PART OF GOVERNMENT LOT 10 OF
SECTION 24, TOWNSHIP 47, RANGE 27,
AITKIN COUNTY, MINNESOTA.



TERRY J. BETLEY

registered land surveyor
registered abstractor

AITKIN COUNTY ABSTRACT BUILDING
112 THIRD STREET NORTHWEST
AITKIN, MINNESOTA 56431

GRAPHIC SCALE: 1 INCH = 80 FEET.
BEARING DATUM IS LOCAL ASSUMED.
⊕ DENOTES SET IRON MONUMENT.

I HEREBY CERTIFY THAT THIS SURVEY, PLAN OR
REPORT WAS PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A DULY REGISTERED
LAND SURVEYOR UNDER THE LAWS OF THE STATE
OF MINNESOTA.

TERRY J. BETLEY, MINN. REG. NO. 110
DATE: SEPTEMBER 06, 2000
FILE: A-SHEFFA SHEFF2
REVISIONS:

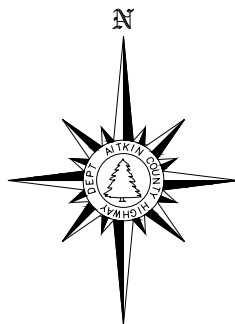
AITKIN COUNTY FAIRGROUNDS MAINTENANCE BUILDING



INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET & LOCATION MAP
2	FLOOR PLAN
3	SIDE VIEWS AND END VIEWS
4	SLAB DETAILS
5	STUD DETAILS
6	CONCRETE APRON DETAILS

THIS PLAN CONTAINS 6 SHEETS



SCALE 1" = 100'

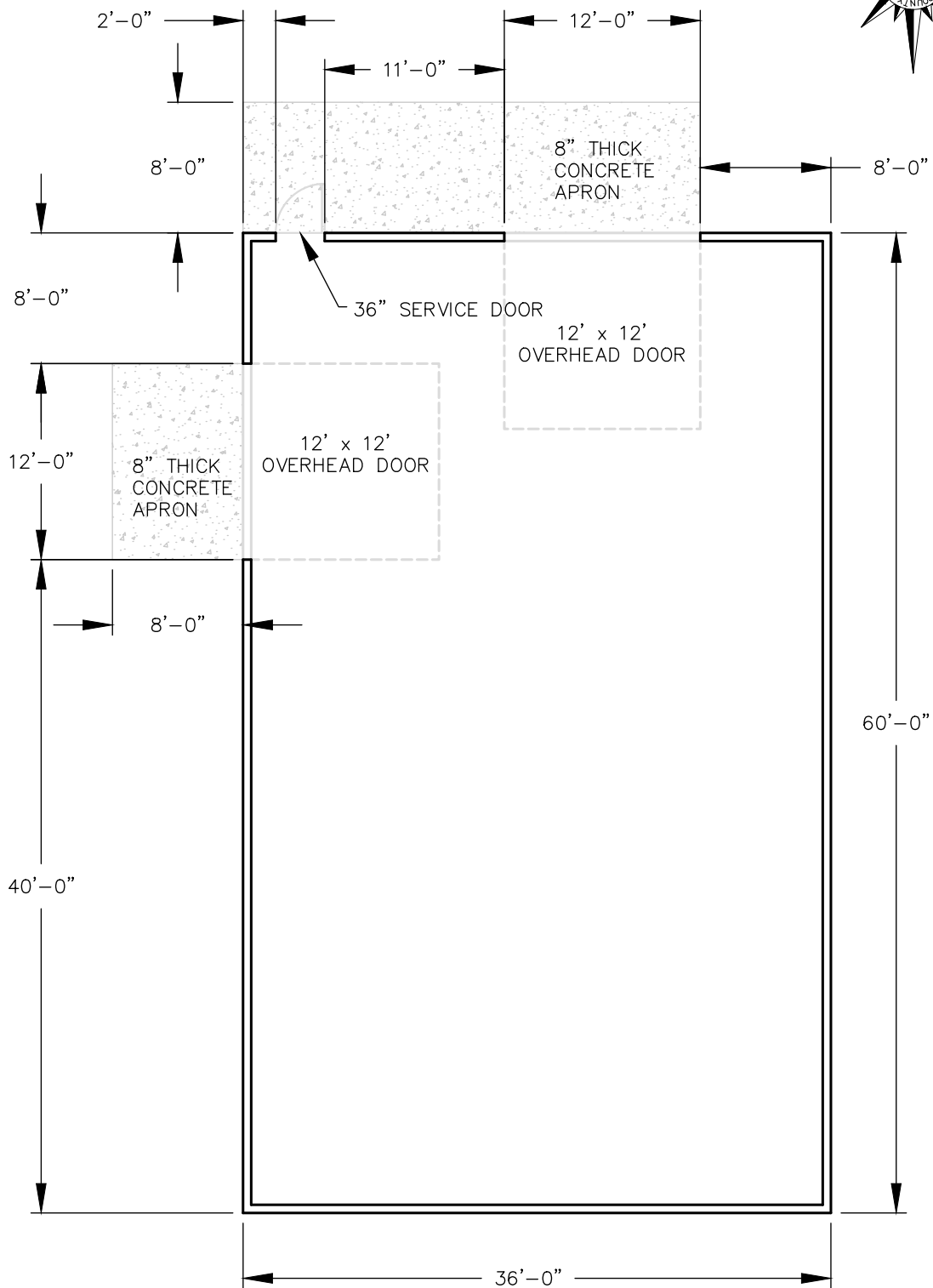
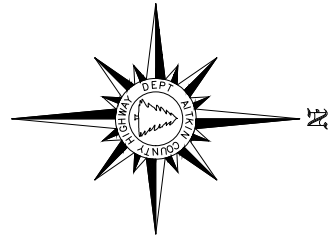


AITKIN COUNTY, MN

TITLE SHEET & LOCATION MAP

SHEET 1 OF 6 SHEETS

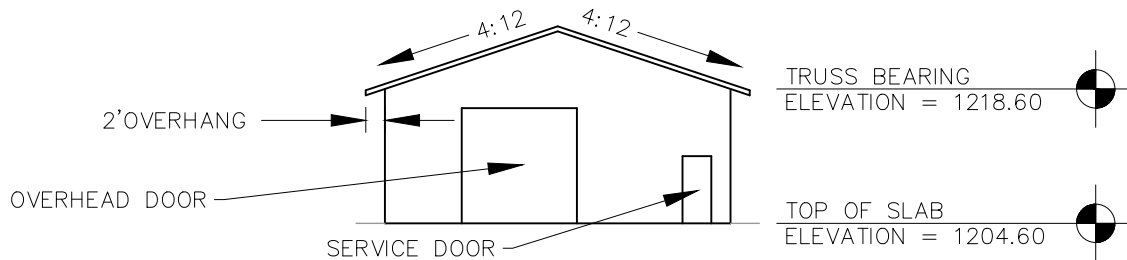
FLOOR PLAN



SCALE: 1" = 10'

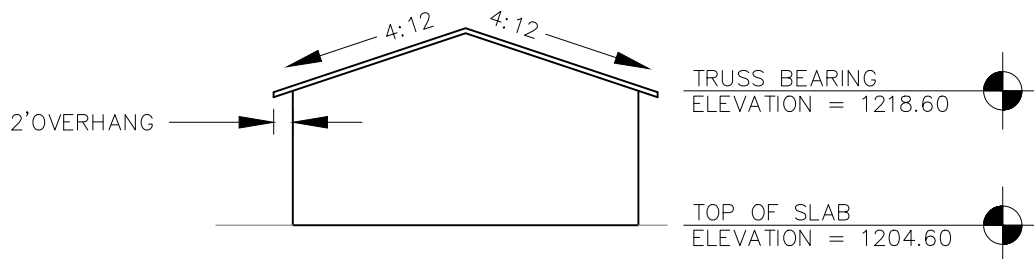
AITKIN COUNTY FAIRGROUNDS
MAINTENANCE BUILDING

SHEET 2 OF 6 SHEETS



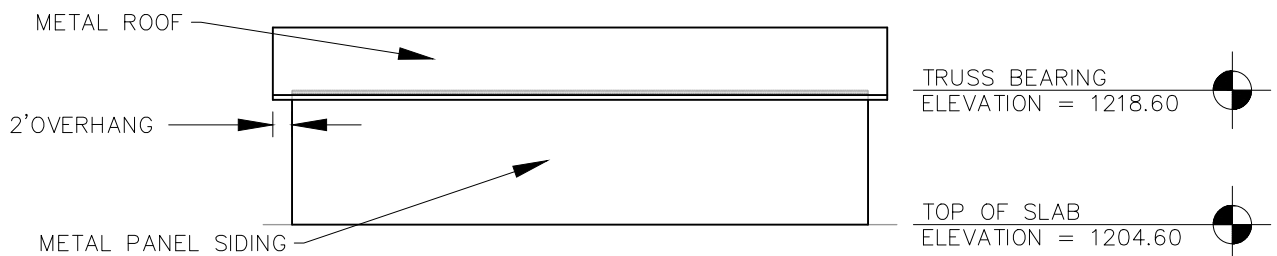
SCALE: 1" = 20'

WEST ELEVATION



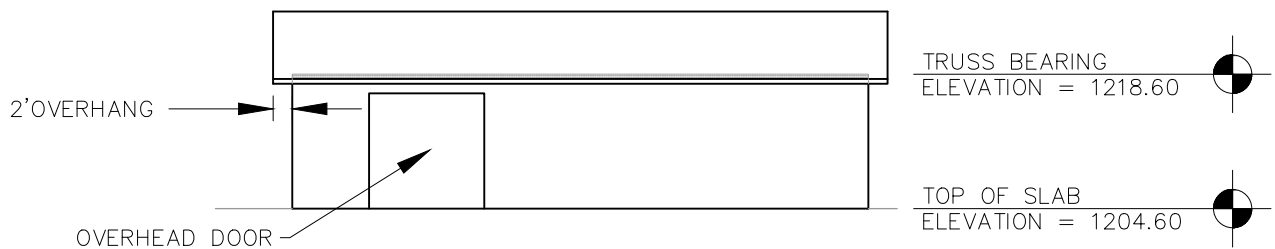
SCALE: 1" = 20'

EAST ELEVATION



SCALE: 1" = 20'

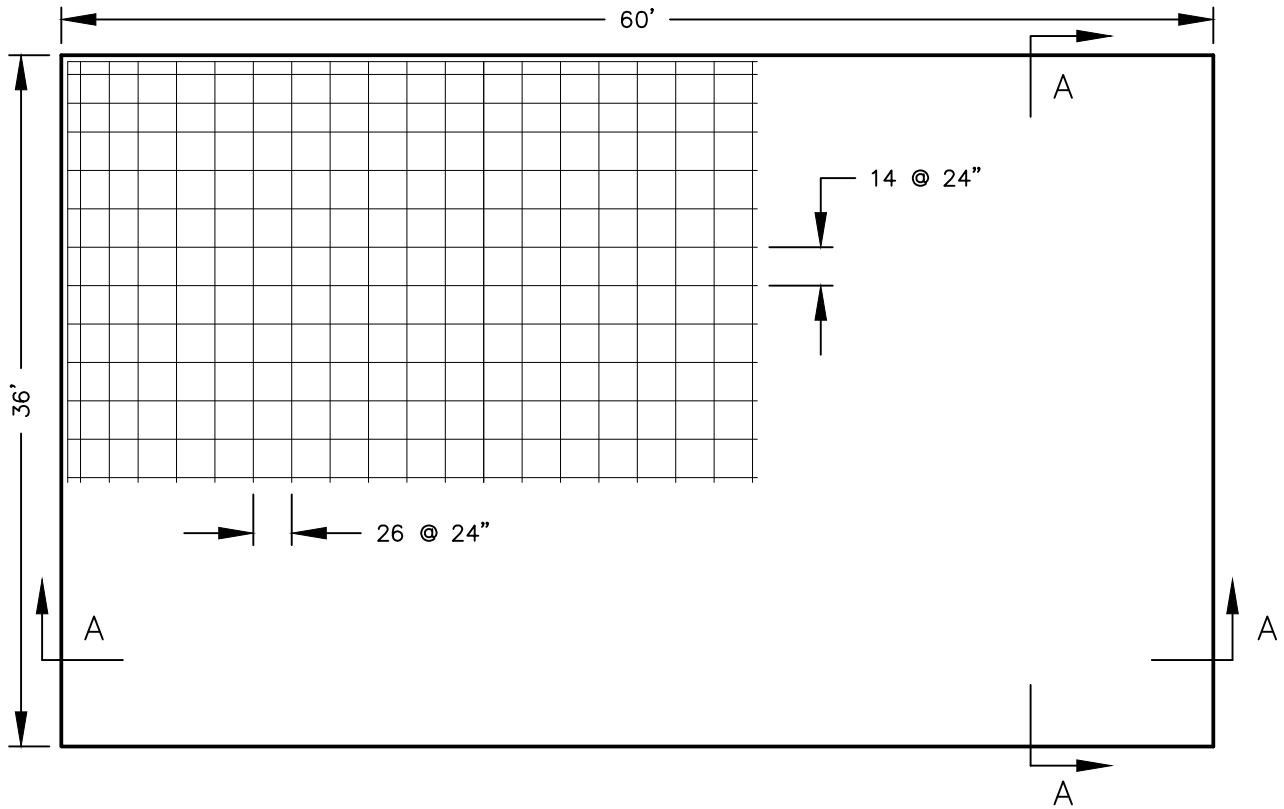
NORTH ELEVATION



SCALE: 1" = 20'

SOUTH ELEVATION

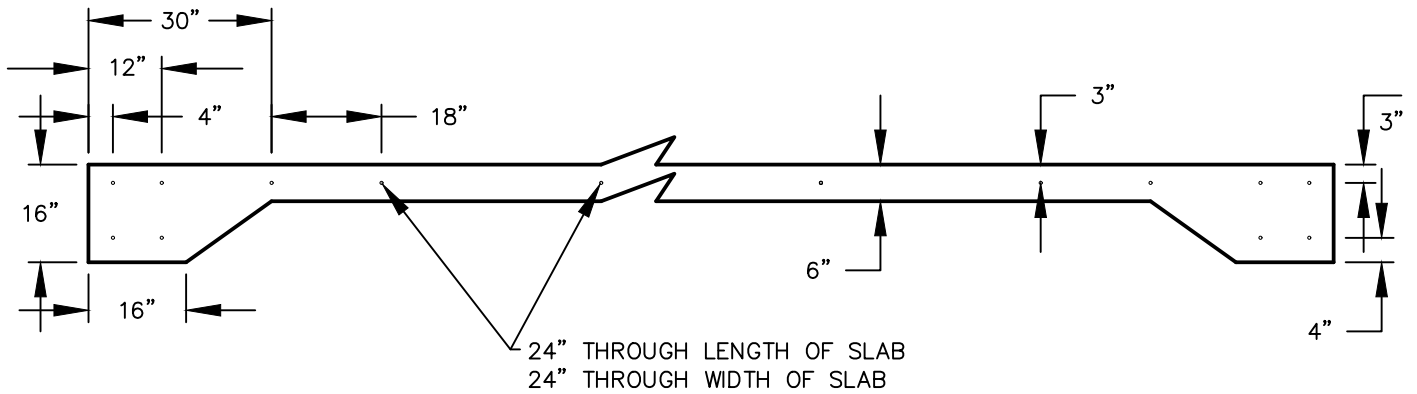
CONCRETE SLAB DETAILS



SCALE: 1" = 10'

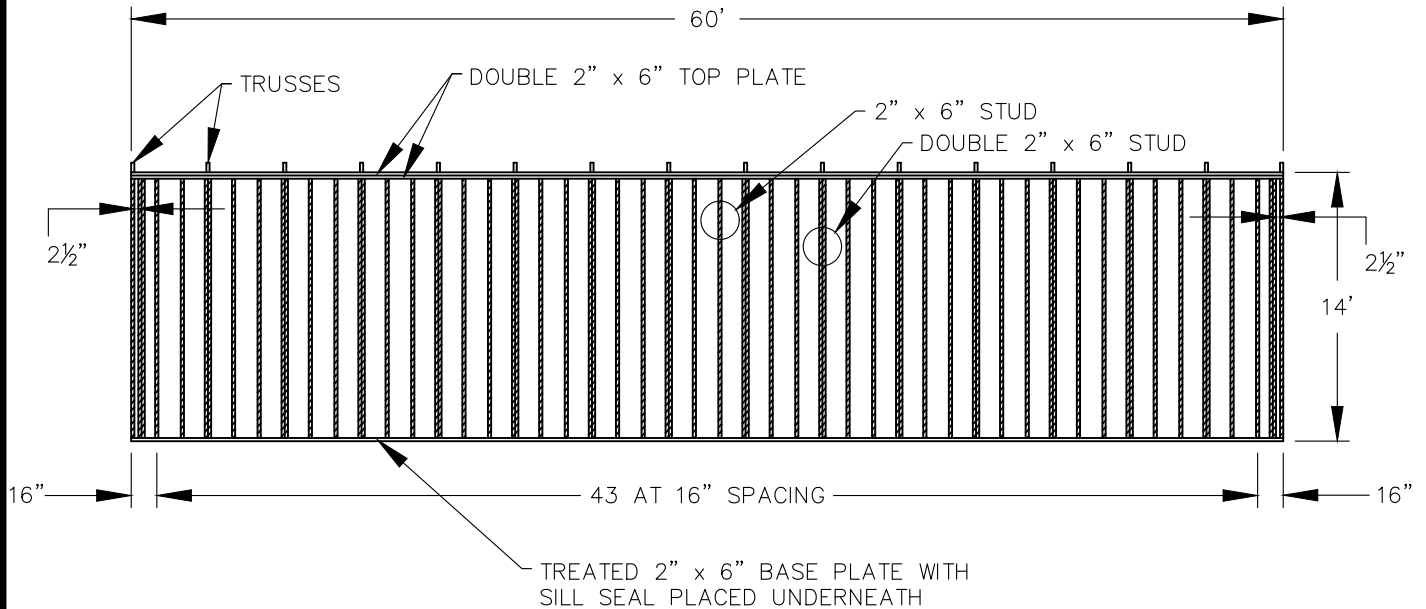
SECTION A-A

NOT TO SCALE



TYPICAL EAVE END WALL STUD DETAIL

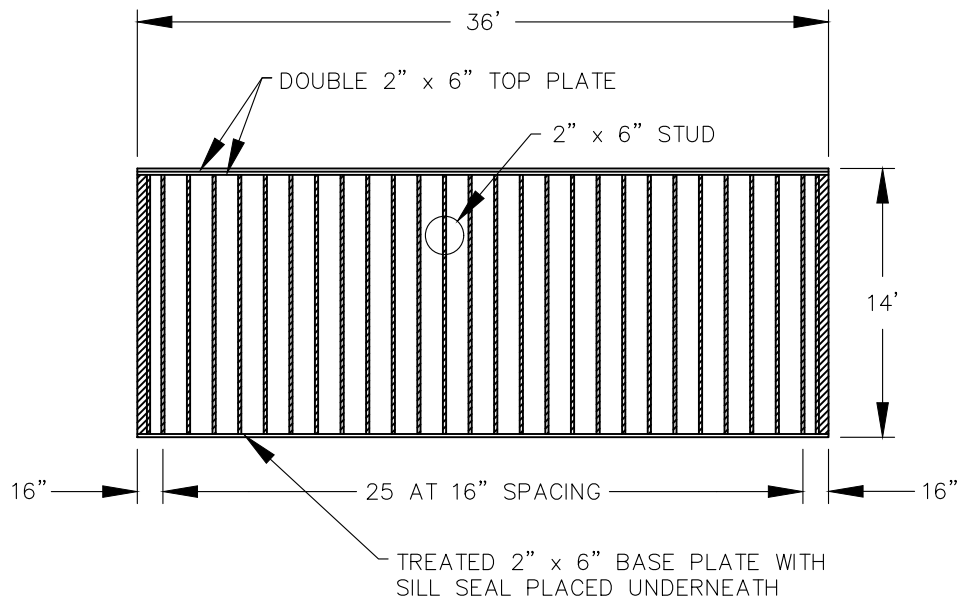
(ONE - 12' X 12' OVERHEAD GARAGE DOOR ON SOUTH SIDE OF BUILDING NOT SHOWN)



SCALE: 1" = 10'

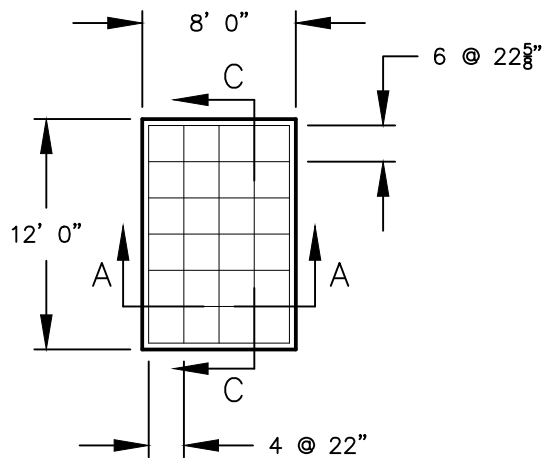
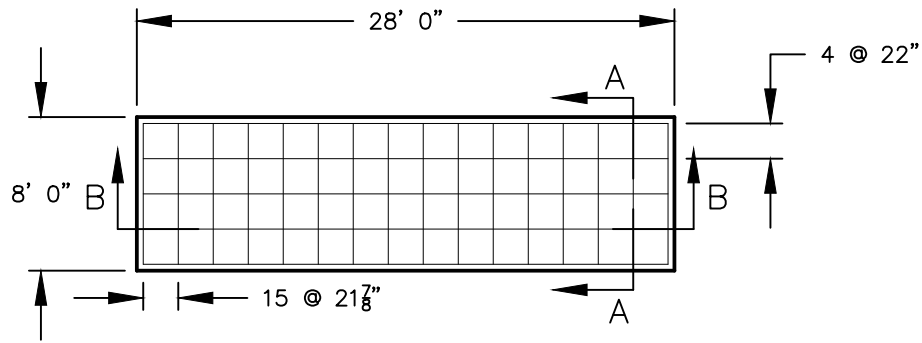
TYPICAL GABLE END WALL STUD DETAIL

(12' X 12' OVERHEAD DOOR AND SERVICE DOOR ON WEST SIDE OF BUILDING NOT SHOWN)

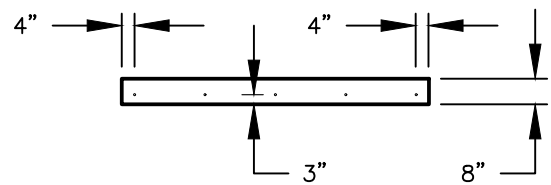


SCALE: 1" = 10'

CONCRETE APRON DETAILS



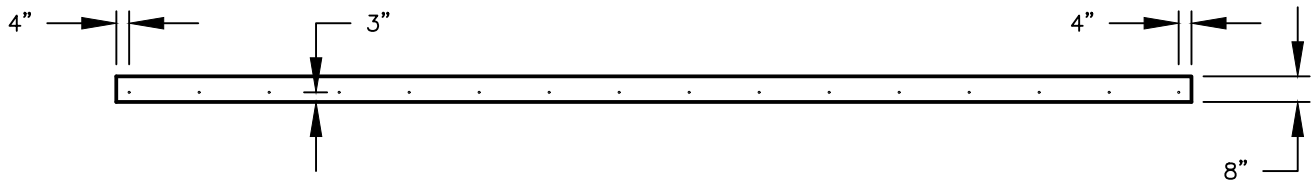
SECTION A-A



SCALE: 1" = 10'

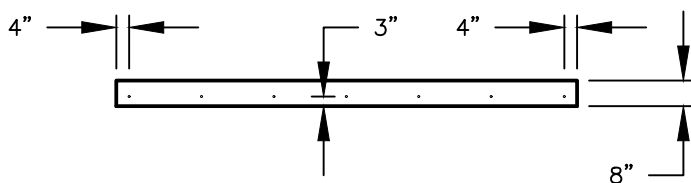
SCALE: 1" = 5'

SECTION B-B



SCALE: 1" = 5'

SECTION C-C



SCALE: 1" = 5'

EROSION CONTROL PLAN CHECKLIST

Check the box if completed (leave empty if not applicable).

All items checked must be included on the site diagram.

Site Characteristics

- ☒ North arrow, scale, and site boundary. Indicate and name adjacent streets or roadways.
- ☐ Location of existing drainageways, streams, rivers, lakes, wetlands or wells.
- ☐ Location of storm sewer inlets.
- ☐ Location of existing and proposed buildings and paved areas.
- ☐ The disturbed area on the lot.
- ☐ Approximate gradient and direction of slopes before grading operations.
- ☐ Approximate gradient and direction of slopes after grading operations.
- ☐ Overland runoff (sheet flow) coming onto the site from adjacent areas.

Erosion Control Practices

- ☐ Location of temporary soil storage piles.
Note: Soil storage piles should be placed behind a sediment fence, a 10 foot wide vegetative strip, or should be covered with a tarp or more than 25 feet from any downslope road or drainageway.
- ☐ Location of access drive(s) (driveways, turnarounds, approaches, etc.)
- ☒ Location of sediment controls (filter fabric fence, straw bale fence or 10-foot wide vegetative strip) that will prevent eroded soil from leaving the site.
- ☒ Location of sediment barriers around on-site storm sewer inlets.
- ☐ Location of diversions.
Note: Although not specifically required by code, it is recommended that concentrated flow (drainageways) be diverted (re-directed) around disturbed areas. Overland runoff (sheet flow) from adjacent areas greater than 10,000 sq. ft. should also be diverted around disturbed areas.
- ☐ Location of practices that will be applied to control erosion on steep slopes (greater than 12% grade).
Note: Such practices include maintaining existing vegetation, placement of additional sediment fences, diversions, and re-vegetation by sodding or seeding with use of erosion control mats.
- ☐ Location of practices that will control erosion on areas of concentrated runoff flow.
Note: Unstabilized drainageways, ditches, diversions, and inlets should be protected from erosion through use of such practices as in-channel fabric or straw bale barriers, erosion control mats, staked sod, and rock rip-rap. When used, a given in-channel barrier should not receive drainage from more than two acres of unpaved area, or one acre of paved area. In-channel practices should not be installed in perennial streams (streams with year round flow).
- ☐ Location of other planned practices not already noted.

Check the box if completed (leave empty if not applicable).

All items checked must be included on the site diagram.

Management Strategies

- ☐ Temporary stabilization of disturbed areas.

Note: It is recommended that disturbed areas and soil piles left inactive for extended periods of time be stabilized by seeding (between April 1 and September 15), or by other cover, such as tarping or mulching.

- ☒ Permanent stabilization of site by re-vegetation or other means as soon as possible (lawn establishment).

• Indicate re-vegetation method: (Circle one of the following) Seed Sod

Other _____

• Expected date of permanent re-vegetation: Spring of 2027

• Re-vegetation responsibility of: (Circle one of the following)

Builder Owner Buyer

• Is temporary seeding or mulching planned if site is not seeded by Sept. 15 or sodded by Nov. 15? (Circle one of the following) Yes No

- ☐ Use of downspout and/or sump pump outlet extensions.

Note: It is recommended that flow from downspouts and sump pump outlets be routed through plastic drainage pipe to stable areas such as established sod or pavement.

- ☐ Trapping sediment during de-watering operations.

Note: Sediment-laden discharge water from pumping operations should be ponded behind a sediment barrier until most of the sediment settles out.

- ☐ Proper disposal of building material waste so that pollutants and debris are not carried off-site by wind or water.

- ☐ Maintenance of erosion control practices.

- Sediment will be removed from behind sediment fences and barriers before it reaches a depth that is equal to half the height of the barrier.
- Breaks and gaps in sediment fences and barriers will be repaired immediately. Decomposing straw bales will be replaced (typical bale life is three months).
- All sediment that moves off-site due to construction activity will be cleaned up before the end of the same workday.
- All sediment that moves off-site due to storm events will be cleaned up before the end of the next workday.
- Access drives will be maintained throughout construction.
- All installed erosion control practices will be maintained until the disturbed areas they protect are stabilized.

PART VII: STANDARD EROSION CONTROL PLAN

According to Aitkin County's Shoreland Management Ordinance, soil erosion control information needs to be included on the site plan which is submitted and approved prior to the issuance of zoning permits. The Standard Erosion Control Plan is provided to assist in meeting this requirement.

Instructions:

1. Complete this plan by filling in requested information, completing the site diagram and marking appropriate boxes on the inside of this form.
2. In completing the site diagram, give consideration to potential erosion that may occur before, during and after grading. Water runoff patterns can change significantly as a site is reshaped.
3. A cross section sheet is required for walkout basements and excavations into hillsides for determining volume of fill to be excavated.

Project Location 666 Air Park DR., Aitkin, MN 56431

Builder Hy-Tec Construction Owner Aitkin County

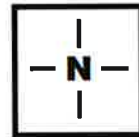
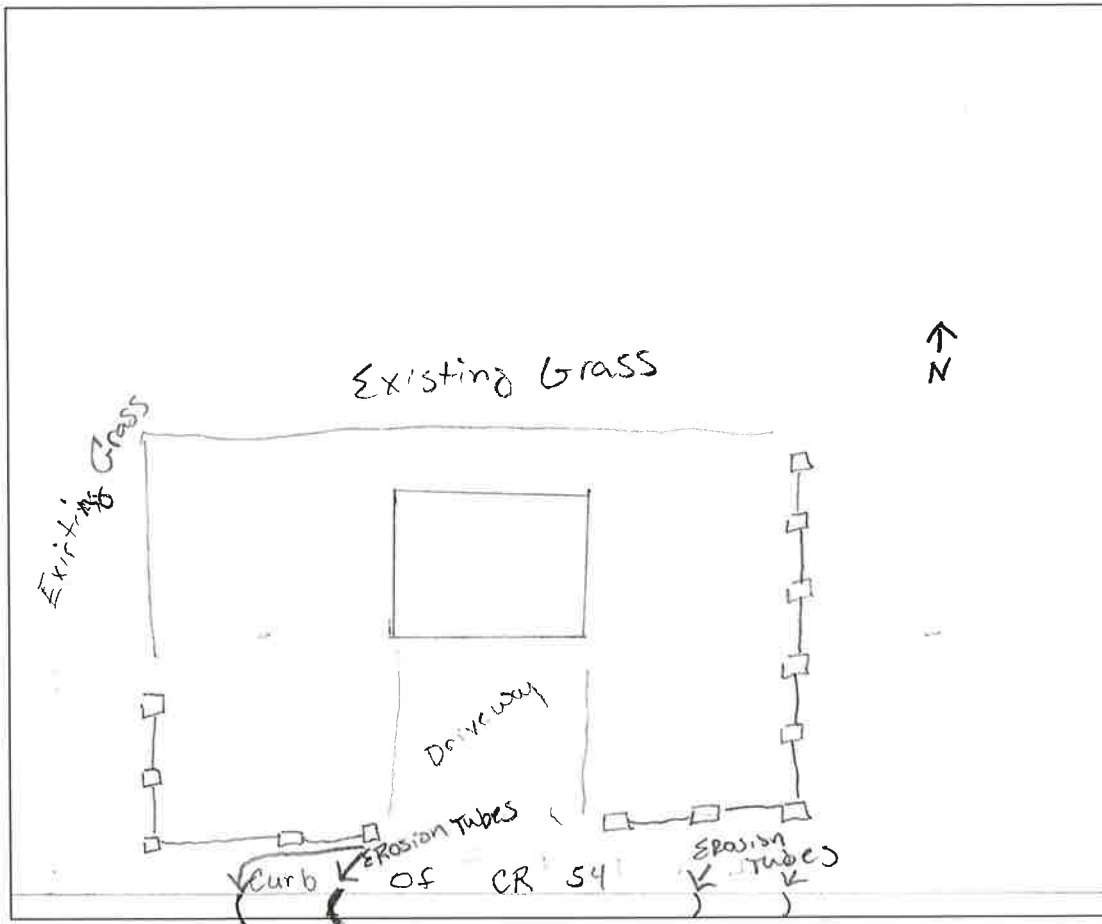
Worksheet Completed By Jim Bright Date 7-10-2026

Amount of earthen material to be excavated and/or used for fill _____ cubic yards.

SITE DIAGRAM

Scale 1 inch = 20 feet

Please indicate north by completing the arrow.



EROSION CONTROL PLAN LEGEND

- PROPERTY LINE
- EXISTING DRAINAGE
- TD TEMPORARY DIVERSION
- FINISHED DRAINAGE
- LIMITS OF GRADING
- SILT FENCE
- STRAW BALES
- [Gravel symbol] GRAVEL
- [1 in circle] VEGETATION SPECIFICATION
- [Tree symbol] TREE PRESERVATION
- [Cross-hatched circle] STOCKPILED SOIL

2
01-0-
054802

Corporation, Partnership or Limited Liability Company
to Joint Tenants

411996

FILED JUN 20 '12 AT 9AM

Diane M. Lafferty, County Recorder

No delinquent taxes and transfer entered; Certificate of
Real Estate Value () filed (☒) not required.
Certificate of Real Estate Value No. _____

June 20 2012

Date

Kirk Peysar

County Auditor

by:

Elizabeth Herman

Deputy

DEED TAX DUE: \$ 1.65

Date:

June 18, 2012

(reserved for recording data)

FOR VALUABLE CONSIDERATION, _____ County of Aitkin
_____, a political subdivision _____ under the laws of
_____, Grantor, hereby conveys and quitclaims to Jeffrey A. Patnode
and Donna J. Patnode, as joint tenants _____, Grantees,
as joint tenants, real property in Aitkin County, Minnesota, described as follows:



See attached exhibit A

together with all hereditaments and appurtenances.

Check box if applicable:

- ☒ The Seller certifies that the seller does not know of any wells on the described real property.
☐ A well disclosure certificate accompanies this document.
☐ I am familiar with the property described in this instrument and I certify that the status and number of wells on the described real property have not changed since the last previously filed well disclosure certificate.

Affix Deed Tax Stamp Here

STATE OF MINNESOTA

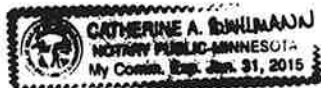
COUNTY OF Aitkin } ss.

This instrument was acknowledged before me on

June 13, 2012
(Date)

by Mark Wedel and Kirk Peysar
the Chairperson of Aitkin C. Board and County Auditor
of County of Aitkin, a political subdivision
under the laws of the State of Minnesota, on behalf of the political subdivision

NOTARIAL STAMP OR SEAL (OR OTHER TITLE OR RANK)



THIS INSTRUMENT WAS DRAFTED BY (NAME AND ADDRESS):

Aitkin County
209 2nd St. NW Room 206
Aitkin, Mn. 56431

Catherine A. Buhlmann

SIGNATURE OF NOTARY PUBLIC OR OTHER OFFICIAL

Check here if part or all of the land is Registered (Torrens) ☐

Tax Statements for the real property described in this instrument should be sent to (Include name and address of Grantee):

Jeffrey and Donna Patnode
108 Airport Dr
Aitkin, Mn 56431

AITKIN COUNTY DEED TAX

No. 3592 Date 6-2012

1.65 Dollars Paid

Lois Grams

County Treasurer

By:

Phalen

Deputy

TRACT A
Aitkin County to Patnode

→ That part of Government Lot 10 of Section 24, Township 47, Range 27, to be described as follows:

Commencing at the Southwest corner of said Government Lot 10; thence North 89 degrees 19 minutes 53 seconds East, on an assigned bearing, along the South line of said Government Lot 10 and the Southerly line of the former Soo Line Railroad, said Southerly line of Government Lot 10 and said Southerly line of former Soo Line Railroad being 100 feet Southerly of as measured at right angles from the centerline of the abandoned main track of said Railroad, a distance of 526.17 feet, to the actual point of beginning of the tract of land described as follows; thence North 02 degrees 44 minutes 46 seconds West, parallel with West line of said Government Lot 10, a distance of 205.14 feet; thence North 87 degrees 17 minutes 45 seconds East, a distance of 45.00 feet; thence North 02 degrees 44 minutes 46 seconds West, a distance of 60.00 feet; thence North 87 degrees 17 minutes 45 seconds East, a distance of 40.17 feet; thence North 02 degrees 44 minutes 46 seconds West, along a line parallel with and 611.00 feet Easterly of as measured at right angles from West line of said Government Lot 10, a distance of 17.02 feet; thence North 89 degrees 19 minutes 53 seconds East, parallel with said centerline of the abandoned main track, a distance of 604.72 feet; thence South 03 degrees 37 minutes 55 seconds East, along a line parallel with and 106 feet Westerly of the East line of said Government Lot 10, a distance of 285.38 feet; thence South 89 degrees 19 minutes 53 seconds West, along said South line of Government Lot 10 and said Southerly line of the former Soo Line Railroad, a distance of 694.36 feet, to the actual point of beginning.

→ Grantor reserves a perpetual easement for ingress and egress across a part of the above described tract and said easement is described as follows:

Beginning at the most Southwest Corner thereof; thence North 02 degrees 44 minutes 46 seconds West along the West line thereof, a distance of 110.07 feet; thence North 89 degrees 19 minutes 53 seconds East, a distance of 85.23 feet; thence South 02 degrees 44 minutes 46 seconds East, a distance of 110.07 feet; thence South 89 degrees 19 minutes 53 seconds West, along the Southerly line thereof a distance of 85.23 feet, to the point of beginning.

Aitkin County, Minnesota.
(Abstract)

C: / 24-47-27 Patnode TRACT A

Abstract A
5/20/11

6-20-9
RECORDED ☒
TRACT INDEX ☒
GRANTOR ☐
GRANTEE ☐
COMPILED ☐
2 (2)

OFFICE OF COUNTY RECORDER
AITKIN COUNTY, MN
☐ WELL CERTIFICATE RECEIVED
☒ WELL CERTIFICATE NOT REQUIRED

COUNTY RECORDER
AITKIN COUNTY, MINNESOTA
FILED

JUN 20 2012 9AM

Blaine M. Dufferty
REC'D No.

411996

Commissioner of Highways.

Dated this 2nd day of December, 1936.

In Presence of:

Witness Marlowe F. Sorsoleil

Witness H. H. Lancaster

Chester Martin

Anna H. Martin

State of Minnesota)

) ss

County of Hennepin) On this 2nd day of December, 1936, before me personally appeared Chester Martin and Anna H. Martin, his wife, to me known to be the persons described in and who executed the foregoing instrument, and acknowledged that they executed the same as their free act and deed.

Ann C. Johnson

Notary Public, Hennepin County, Minn.

My Commission Expires April 14, 1937

(Notarial Seal)

I hereby certify that the within easement will convey to the State of Minnesota for highway purposes a good title to the land therein described, free and clear of all incumbrances.

I further approve said easement as to form and execution.

Dec. 11, 1936

Bert McMullen

Special Counsel, Department of Highways

95526 Quit Claim Deed Filed December 31st, 1936 at 5 P.M.

Storage Site, Aitkin, Minn.

Parcel shown is washed ink on attached print.
12-2-36 J. M. D.

THIS INDENTURE, Made this 14th day of October, 1936, between MINNEAPOLIS, ST. PAUL & SAULT STE. MARIE RAILWAY COMPANY, a corporation under the laws of the State of MINNESOTA, party of the first part, and State of Minnesota, party of the second part,

WITNESSETH, That the said party of the first part, in consideration of the sum of One Hundred Thirty-two and 45/100 - - \$132.45 - - - - Dollars, to it in hand paid by the said party of the second part, the receipt whereof is hereby acknowledged, does hereby Grant, Bargain, Quitclaim, and Convey unto the said party of the second part, its successors and assigns, Forever, all the tract or parcel of land lying and being in the County of Aitkin and State of Minnesota, described as follows, to-wit:

a parcel of land, comprising all that part of Government Lot Ten (10) of Section Twenty-four (24), Township Forty-seven (47) North, of Range Twenty-seven (27) West, bounded and described as follows:

on the South side by the North boundary line of that certain parcel of land conveyed by the first party to the second party by Quit Claim Deed dated January 14th, 1932;

on the Northerly side by a line running parallel with and eight (8) feet distant Southerly (measured at right angles) from the center line of the first party's spur track, as now located approximately one hundred fifty (150) feet Northerly from the South line of said Lot 10;

and on the West and East sides by two lines running parallel with and respectively three hundred sixty-nine (369) feet and five hundred thirty-five (535) feet distant East (measured at right angles) from the West line of said Lot 10.

TO HAVE AND TO HOLD THE SAME, Together with all the hereditaments and appurtenances thereunto belonging or in anywise appertaining, to the said party of the second part, its successors and assigns, Forever.

IN TESTIMONY WHEREOF, The said first party has caused these presents to be executed in its corporate name by its President and its Secretary and its corporate seal to be hereunto affixed the day and year first above written.

In Presence of

R. E. Davis

Dorothy Green

(Corporate Seal)

MINNEAPOLIS, ST. PAUL & SAULT STE. MARIE RAILWAY COMPANY

By C. T. Jaffray,

Its President

P. J. Stock,

Its Secretary

State of Minnesota)

) ss

County of Hennepin) On this 20th day of November, 1936, before me, a Notary Public, within and for said County, personally appeared C. T. Jaffray and P. J. Stock to me personally known, who, being each by me duly sworn each did say that they are respectively the President and the Secretary of the corporation named in the foregoing instrument and that the seal affixed to said instrument is the corporate seal of said corporation, and that said instrument was signed and sealed in behalf of said corporation by authority of its Board of Directors and said C. T. Jaffray and P. J. Stock acknowledged Said instrument to be the free act and deed of said corporation.

V. K. Boe

Notary Public, Hennepin County, Minn.

My Commission expires Feb. 14th, 1945

(Notarial Seal)

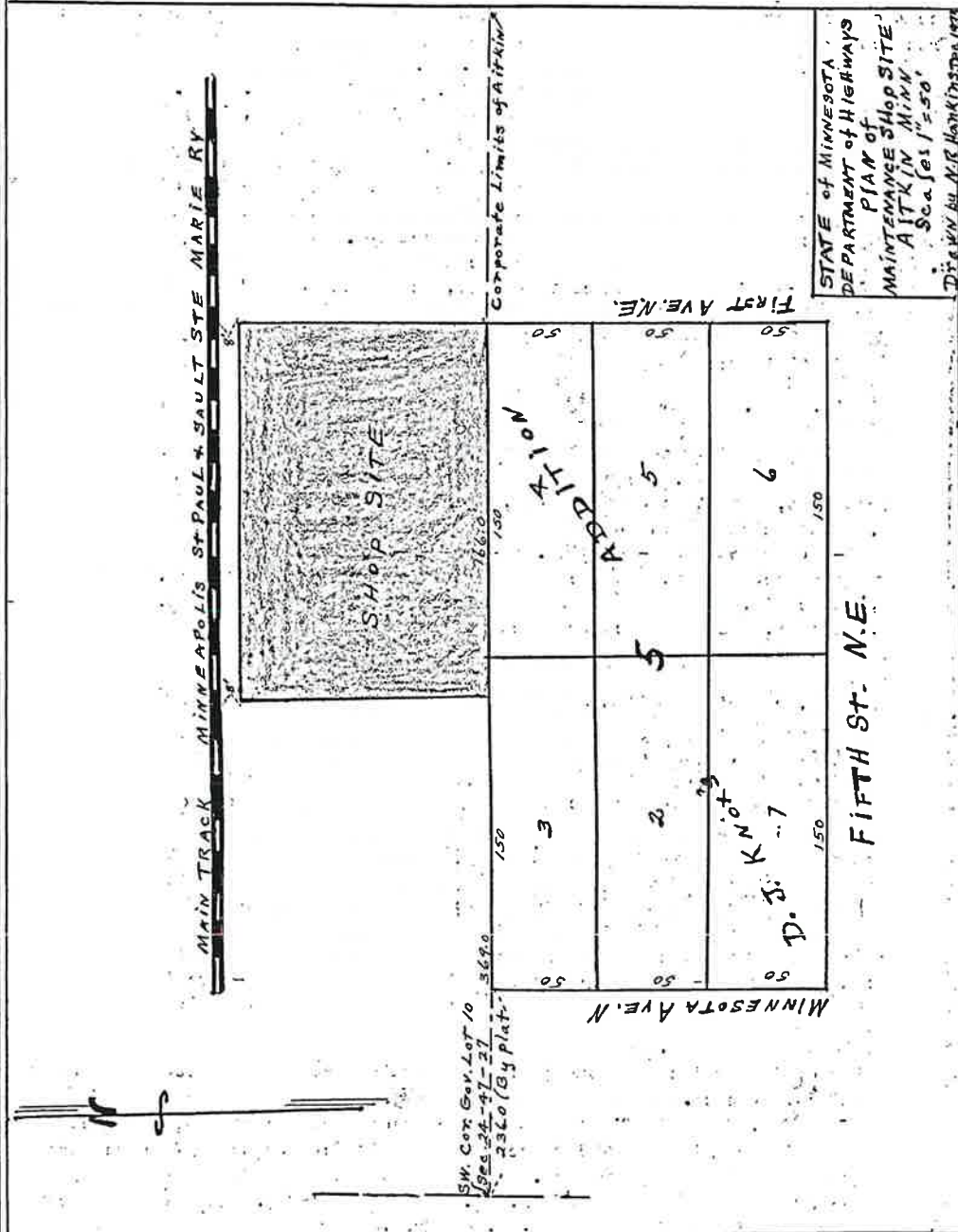
(over)

DEED RECORD No. 57

Security Blank Book and Printing Co., St. Cloud, Minn.—87813

Approved as to form and execution
 Ordner T. Bundlie
 Deputy Attorney General
 Dated Dec, 3, 1936

Received Nov. 25, 1936
 Office of Highway Department.



Northerly R/W line of Soo Line Railroad as perpetuated by former Acting Aitkin County Surveyor, Terry J. Betley, Mn. Reg. No. 15811. [09/11/1991]

N89°19'53"E 611.40'

Land Description

That part of Government Lot 10 of Section 24, Township 47, Range 27, described as follows:
Commencing at the Southwest corner thereof; thence North 89 degrees 19 minutes 53 seconds East, along the South line of said Government Lot 10, a distance of 369.24 feet, to the point of beginning; thence North 02 degrees 44 minutes 46 seconds West, along the East line of the West 369 feet thereof, a distance of 250.17 feet; thence North 89 degrees 19 minutes 53 seconds East, parallel with the South line of said Government Lot 10, a distance of 201.96 feet; thence South 02 degrees 44 minutes 46 seconds East, along the Westerly line of Document No. 411996, a distance of 43.43 feet; thence South 87 degrees 17 minutes 45 seconds West, a distance of 45.00 feet; thence South 02 degrees 44 minutes 46 seconds East, continuing along said Westerly line of Document No. 411996, a distance of 205.14 feet; thence South 89 degrees 19 minutes 53 seconds West, along the South line of said Government Lot 10, a distance of 156.93 feet, to the point of beginning.

Aitkin County, Minnesota.

Centerline of Soo Line Railroad as located by former Acting Aitkin County Surveyor, Terry J. Betley, Mn Reg. No. 15811 [09/11/1991]

SW Corner of Govt. Lot 10

N89°19'53"E 369.24'

South line of Government Lot 10 & Southerly line of Soo Line Railroad

Certificate of Survey and Proposed Site Plan.

Of a part of Government Lot 10 of Section 24, Township 47, Range 27, Aitkin County, Minnesota.
(Abstract property)

- 1.) As per Contours shown, NO BLUFF as defined by ordinance.
- 2.) Existing Flood Insurance Rate Map indicates that subject structures & proposed REVISIONS are located in ZONE AE. 270628 0240C FEBRUARY 2, 1996.
- 3.) Square footage of proposed structure is shown.
- 4.) Dimensions of proposed structure from boundaries are shown.
- 5.) Wetlands if any, will be delineated by Brinks Wetland Services, LLC
- 6.) Spot elevations shown.
- 7.) Total area: 27,500 sq/ft +/- (North of R/W)
- 8.) Proposed impervious coverage: 7,000 sq/ft +/- (25%)
- 9.) SITE BENCHMARK: Top of Catch basin near SW Corner of TRACT 1201.90 NAD 83 (FT)
- 10.) ALL UTILITIES MUST BE VERIFIED PRIOR TO CONSTRUCTION.
- 11.) COUNTY OF AITKIN, STATE OF MINNESOTA.
- 12.) Proposed Impervious coverage with improvements(includes structure) 7,000 SQ/FT (25% +/-)
- 13.) PARCEL NOS. 01-0-054802, 01-0-054803 & 01-0-054804
- 14.) PROPERTY ADDRESS: 66 AIR PARK DR - AITKIN MN.

Terry J. Betley
Land Surveyor
Aitkin County Abstract Company Building
112 Third Street Northwest
Aitkin, Minnesota 56431

Graphic Scale: 1 inch = 50 feet.
0 25 50 75 100

NAD 1983 HARN ADJ. AITKIN COUNTY MN.
Note: Some topography compiled from 2024 aerial photos utilizing Aitkin County GIS website.

● Denotes iron monument of public record.
○ Denotes set iron monument.
I hereby certify that this plan, survey or report was prepared by me or under my direct supervision and that I am a duly licensed land surveyor & abstractor under the laws of the State of Minnesota.

TERRY BETLEY

Terry J. Betley, Minnesota Registration No. 15811 & 19
Date: JULY 6, 2026



**AITKIN COUNTY ENVIRONMENTAL SERVICES
PLANNING & ZONING**

Aitkin County Government Center
307 2nd Street NW, Room 219
Aitkin, MN 56431

aitkinpz@aitkincountymn.gov
Phone: 218-927-7342
Fax: 218-927-4372

AUTHORIZED AGENT FORM

I hereby authorize the agent named below to act as my authorized agent for all public hearing applications and land use permits on property located at:

Parcel Numbers(s):	01-0-054802, 01-0-054803,
E911 Address of Property:	66 Airpark Drive, Aitkin, MN

Authorized Agent Information:

Agent name:	Jim Bright, Aitkin County Facilities Coordinator
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Property Owner Information:

Property Owner Signature:	Kathleen Ryan, County Auditor	Date:	6/18/2020
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Board of Adjustment Meeting Minutes Wednesday, August 5, 2026 at 4:00 PM

1. CALL PUBLIC HEARING TO ORDER	The meeting was called to order at 4:00 PM.
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2. ROLL CALL				
BOARD MEMBERS PRESENT	Charlie Christensen ☒	Tom Veenker ☒	Terry Betley ☒	Jane Bristow ☒
	Greg Neumann ☐			
STAFF PRESENT	Assistant Zoning Administrator: Kevin Turnock ☒ , Secretary: Kimberly Burton ☒ , County Attorney; James Ratz ☒			

3. APPROVE AGENDA				
MOTION TO APPROVE AGENDA FOR AUGUST 5, 2026	APPROVE ☒		APPROVE AS AMENDED ☐	
1ST	Charlie Christensen ☐ Chair	Tom Veenker ☒ Vice Chair	Terry Betley ☐	Jane Bristow ☐
	Greg Neumann ☐			
2ND	Charlie Christensen ☐ Chair	Tom Veenker ☐ Vice Chair	Terry Betley ☐	Jane Bristow ☒
	Greg Neumann ☐			
VOTE TO APPROVE AGENDA	YES ☒ Christensen ☒ Veenker ☒ Betley ☒ Bristow ☐ Neumann	NO ☐ Christensen ☐ Veenker ☐ Betley ☐ Bristow ☐ Neumann		

OLD BUSINESS

4.	App# 2026-000215 Brent & Susan Eilefson
APPLICANT/ REPRESENTATIVE	None
PUBLIC COMMENT	None
CORRESPONDENCE	Name: Randy Wilburn Address: 20449 493 rd Lane McGregor, MN 55760

MOTION TO DENY VARIANCE		APPROVE WITH CONDITIONS ☐	DENY ☒	TABLE ☐
1ST	Charlie Christensen ☐ Chair	Tom Veenker Vice Chair ☒	Terry Betley ☐	Jane Bristow ☐
	Greg Neumann ☐			
2ND	Charlie Christensen ☒ Chair	Tom Veenker Vice Chair ☐	Terry Betley ☐	Jane Bristow ☐
	Greg Neumann ☐			
VOTE TO DENY VARIANCE		YES ☒ Christensen ☒ Veenker ☒ Betley ☒ Bristow ☐ Neumann	NO ☐ Christensen ☐ Veenker ☐ Betley ☐ Bristow ☐ Neumann	

NEW BUSINESS

5.	App# 2026-000274 Aitkin County
APPLICANT/ REPRESENTATIVE	Name: James Bright, Authorized Agent Address: 209 2 nd St NW Aitkin, MN 56431
PUBLIC COMMENT	None
CORRESPONDENCE	None

MOTION TO APPROVE VARIANCE		APPROVE ☒	DENY ☐	TABLE ☐
1ST	Charlie Christensen ☐ Chair	Tom Veenker Vice Chair ☐	Terry Betley ☐	Jane Bristow ☒
	Greg Neumann ☐			
2ND	Charlie Christensen ☐ Chair	Tom Veenker Vice Chair ☒	Terry Betley ☐	Jane Bristow ☐
	Greg Neumann ☐			

VOTE TO APPROVE VARIANCE	YES ☒ Christensen ☒ Veenker ☐ Betley ☒ Bristow ☐ Neumann	NO ☐ Christensen ☐ Veenker ☐ Betley ☐ Bristow ☐ Neumann	
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6.	App# 2026-000276 Nancy Eidsmo & Ann Calderon
APPLICANT/ REPRESENTATIVE	Name: John Calderon, Authorized Agent Address: 4116 Sunnyside Road Minneapolis, MN 55424
PUBLIC COMMENT	None
CORRESPONDENCE	None

MOTION TO DENY VARIANCE		APPROVE WITH CONDITIONS ☐	DENY ☒	TABLE ☐
1ST	Charlie Christensen ☒ Chair	Tom Veenker Vice Chair ☐	Terry Betley ☐	Jane Bristow ☐
	Greg Neumann ☐			
2ND	Charlie Christensen ☐ Chair	Tom Veenker Vice Chair ☒	Terry Betley ☐	Jane Bristow ☐
	Greg Neumann ☐			
VOTE TO DENY VARIANCE	YES ☒ Christensen ☒ Veenker ☒ Betley ☒ Bristow ☐ Neumann	NO ☐ Christensen ☐ Veenker ☐ Betley ☐ Bristow ☐ Neumann		

7.	App# 2026-000249 Shane & Colleen Thorn
APPLICANT/ REPRESENTATIVE	Name: Shane Thorn Address: 8125 35 th Ave N Crystal, MN 55427
PUBLIC COMMENT	None
CORRESPONDENCE	None

MOTION TO DENY VARIANCE		APPROVE ☐	DENY ☒	TABLE ☐
1ST	Charlie Christensen ☒ Chair	Tom Veenker Vice Chair ☐	Terry Betley ☐	Jane Bristow ☐
	Greg Neumann ☐			
2ND	Charlie Christensen ☐ Chair	Tom Veenker Vice Chair ☒	Terry Betley ☐	Jane Bristow ☐

	Greg Neumann ☐			
VOTE TO DENY VARIANCE		YES ☒ Christensen ☒ Veenker ☒ Betley ☒ Bristow ☐ Neumann	NO ☐ Christensen ☐ Veenker ☐ Betley ☐ Bristow ☐ Neumann	

8.	App# 2026-000261 John & Claudia Meehan
APPLICANT/ REPRESENTATIVE	Name: John Meehan Address: 44146 Tame Fish Lake Rd Aitkin, MN 56431
PUBLIC COMMENT	None
CORRESPONDENCE	None

MOTION TO APPROVE VARIANCE		APPROVE WITH CONDITIONS ☒	DENY ☐	TABLE ☐
1ST	Charlie Christensen ☐ Chair	Tom Veenker Vice Chair ☒	Terry Betley ☐	Jane Bristow ☐
	Greg Neumann ☐			
2ND	Charlie Christensen ☐ Chair	Tom Veenker Vice Chair ☐	Terry Betley ☐	Jane Bristow ☒
	Greg Neumann ☐			
VOTE TO APPROVE VARIANCE WITH CONDITIONS		YES ☒ Christensen ☒ Veenker ☒ Betley ☒ Bristow ☐ Neumann	NO ☐ Christensen ☐ Veenker ☐ Betley ☐ Bristow ☐ Neumann	

9.	App# 2026-000260 Mark & Janice Lefebvre
APPLICANT/ REPRESENTATIVE	Name: Mark Lefebvre Address: 43242 310 th Place Palisade, MN 56469
PUBLIC COMMENT	None
CORRESPONDENCE	None

MOTION TO APPROVE VARIANCE		APPROVE WITH CONDITIONS ☒	DENY ☐	TABLE ☐
1ST	Charlie Christensen ☐ Chair	Tom Veenker Vice Chair ☐	Terry Betley ☒	Jane Bristow ☐
	Greg Neumann ☐			

2ND	Charlie Christensen ☐ Chair	Tom Veenker Vice Chair ☒	Terry Betley ☐	Jane Bristow ☐
	Greg Neumann ☐			
VOTE TO APPROVE VARIANCE WITH CONDITIONS		YES ☒ Christensen ☒ Veenker ☒ Betley ☒ Bristow ☐ Neumann	NO ☐ Christensen ☐ Veenker ☐ Betley ☐ Bristow ☐ Neumann	

10.	App# 2026-000265 Stephen & Lori Schoenborn
APPLICANT/ REPRESENTATIVE	Name: Stephen & Lori Schoenborn Address: 5704 Nelmark Ave NE Saint Michael, MN 55376
PUBLIC COMMENT	None
CORRESPONDENCE	None

MOTION TO DENY VARIANCE		APPROVE WITH CONDITIONS ☐	DENY ☒	TABLE ☐
1ST	Charlie Christensen ☐ Chair	Tom Veenker Vice Chair ☐	Terry Betley ☐	Jane Bristow ☒
	Greg Neumann ☐			
2ND	Charlie Christensen ☐ Chair	Tom Veenker Vice Chair ☒	Terry Betley ☐	Jane Bristow ☐
	Greg Neumann ☐			
VOTE TO DENY VARIANCE		YES ☒ Christensen ☒ Veenker ☐ Betley ☒ Bristow ☐ Neumann	NO ☐ Christensen ☐ Veenker ☒ Betley ☐ Bristow ☐ Neumann	

11.	App# 2026-000263 Vance & Pamela Weiss
APPLICANT/ REPRESENTATIVE	Name: Vance Weiss Address: 19250 Goshawk St McGregor, MN 55760
PUBLIC COMMENT	None
CORRESPONDENCE	None

MOTION TO TABLE VARIANCE		APPROVE WITH CONDITIONS ☐	DENY ☐	TABLE ☒
1ST	Charlie Christensen ☐ Chair	Tom Veenker Vice Chair ☐	Terry Betley ☒	Jane Bristow ☐

	Greg Neumann ☐			
2ND	Charlie Christensen ☐ Chair	Tom Veenker Vice Chair ☐	Terry Betley ☐	Jane Bristow ☒
	Greg Neumann ☐			
VOTE TO TABLE VARIANCE		YES ☒ Christensen ☒ Veenker ☒ Betley ☒ Bristow ☐ Neumann	NO ☐ Christensen ☐ Veenker ☐ Betley ☐ Bristow ☐ Neumann	

12.	App# 2026-000273 Daniel & Patricia Lang
APPLICANT/ REPRESENTATIVE	Name: Courtney Lang, Authorized Agent and Alex Lang Address: 600 Columbus Ave S New Prague, MN 56071
PUBLIC COMMENT	None
CORRESPONDENCE	Name: Marcy Schulze Address: 43611 236 th Ln Aitkin, MN 56431 Name: Robert & Sharon Navarre Address: 23417 435 th Ave Aitkin, MN 56431

MOTION TO DENY VARIANCE		APPROVE WITH CONDITIONS ☐	DENY ☒	TABLE ☐
1ST	Charlie Christensen ☒ Chair	Tom Veenker Vice Chair ☐	Terry Betley ☐	Jane Bristow ☐
	Greg Neumann ☐			
2ND	Charlie Christensen ☐ Chair	Tom Veenker Vice Chair ☒	Terry Betley ☐	Jane Bristow ☐
	Greg Neumann ☐			
VOTE TO DENY VARIANCE		YES ☒ Christensen ☒ Veenker ☒ Betley ☒ Bristow ☐ Neumann	NO ☐ Christensen ☐ Veenker ☐ Betley ☐ Bristow ☐ Neumann	

13.	App# 2026-000277 Thomas & Ann Myers
APPLICANT/ REPRESENTATIVE	Name: Corey Myers, Authorized Agent Address: 1830 Carriage Dr Victoria, MN 55386
PUBLIC COMMENT	None
CORRESPONDENCE	Name: Cedar Lake Conservancy

	Address: PO Box 152 Aitkin, MN 56431
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MOTION TO APPROVE VARIANCE		APPROVE WITH CONDITIONS ☒	DENY ☐	TABLE ☐
1 ST	Charlie Christensen ☐ Chair	Tom Veenker Vice Chair ☒	Terry Betley ☐	Jane Bristow ☐
	Greg Neumann ☐			
2 ND	Charlie Christensen ☐ Chair	Tom Veenker Vice Chair ☐	Terry Betley ☐	Jane Bristow ☒
	Greg Neumann ☐			
VOTE TO APPROVE VARIANCE WITH CONDITIONS		YES ☒ Christensen ☒ Veenker ☒ Betley ☒ Bristow ☐ Neumann	NO ☐ Christensen ☐ Veenker ☐ Betley ☐ Bristow ☐ Neumann	

14.	App# 2026-000272 Mille Lacs Band of Ojibwe
APPLICANT/ REPRESENTATIVE	None
PUBLIC COMMENT	None
CORRESPONDENCE	None

MOTION TO APPROVE VARIANCE		APPROVE ☒	DENY ☐	TABLE ☐
1 ST	Charlie Christensen ☐ Chair	Tom Veenker Vice Chair ☒	Terry Betley ☐	Jane Bristow ☐
	Greg Neumann ☐			
2 ND	Charlie Christensen ☒ Chair	Tom Veenker Vice Chair ☐	Terry Betley ☐	Jane Bristow ☐
	Greg Neumann ☐			
VOTE TO APPROVE VARIANCE		YES ☒ Christensen ☒ Veenker ☒ Betley ☒ Bristow ☐ Neumann	NO ☐ Christensen ☐ Veenker ☐ Betley ☐ Bristow ☐ Neumann	

15. APPROVE MEETING MINUTES	
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MOTION TO APPROVE MINUTES OF JULY 1, 2026		APPROVE ☒		APPROVE AS AMENDED ☐
1ST	Charlie Christensen ☐ Chair	Tom Veenker Vice Chair ☐	Terry Betley ☒	Jane Bristow ☐
	Greg Neumann ☐			
2ND	Charlie Christensen ☐ Chair	Tom Veenker Vice Chair ☐	Terry Betley ☐	Jane Bristow ☒
	Greg Neumann ☐			
VOTE TO APPROVE MINUTES		YES ☒ Christensen ☒ Veenker ☒ Betley ☒ Bristow ☐ Neumann	NO ☐ Christensen ☐ Veenker ☐ Betley ☐ Bristow ☐ Neumann	

16. ADJOURNMENT		5:03 p.m.		
MOTION TO ADJOURN		APPROVE ☒		DENY ☐
1ST	Charlie Christensen ☐ Chair	Tom Veenker Vice Chair ☐	Terry Betley ☒	Jane Bristow ☐
	Greg Neumann ☐			
2ND	Charlie Christensen ☒ Chair	Tom Veenker Vice Chair ☐	Terry Betley ☐	Jane Bristow ☐
	Greg Neumann ☐			
VOTE TO ADJOURN		YES ☒ Christensen ☒ Veenker ☒ Betley ☒ Bristow ☐ Neumann	NO ☐ Christensen ☐ Veenker ☐ Betley ☐ Bristow ☐ Neumann	

SUBMITTED BY KIMBERLY BURTON		DATE	09/02/2026
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☒ DRAFT
☐ FINAL

MHHCP GIS IMPLEMENTATION FUNDING AGREEMENT

This non-exclusive Agreement (“Agreement”) is made, effective upon execution by all parties (“Effective Date), by and between the Mississippi Headwaters Board, located at 326 Laurel St. Brainerd, MN 56401(MHB) and Brinks Wetland Services LLC, with its principal office located at 11914 Joneswood Circle, Baxter, MN 56425

ARTICLE 1: RECITALS

WHEREAS, MHB was established in 1980 under Minnesota Statutes 103F.361-378 to identify and protect the natural, cultural, scenic, scientific and recreational values of the Mississippi River’s first four hundred miles; and

WHEREAS, the Mississippi Headwaters Board (“MHB”) and Brinks Wetland Services LLC (“Brinks”) agree to enter into this Agreement under which Brinks will assist Jacobson with data and maps to prepare and present at a September technical meeting. Combine current available spreadsheet data and create a new spreadsheet with updated information and create a new webapp that shows high priority RAQ-scored parcels in wildlife report priority areas

WHEREAS, the MHB will reimburse eligible costs for these services through its Outdoor Heritage Fund appropriation.

NOW THEREFORE, in consideration of the premises, covenants and mutual promises contained in this Agreement, and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties do hereby agree as follows:

ARTICLE 2: PURPOSE

2.1 Purpose.

MHB and Brinks agree that the purpose of this Agreement is to provide professional services to the MHB.

ARTICLE 3: TERM OF GRANT AGREEMENT

- 3.1 ***Effective date:*** The date the MHB obtains all required signatures. **The Grantee must not begin work under this grant agreement until this Grant Agreement is fully executed and the Grantee has been notified by the Executive Director to begin the work.**
- 3.2 ***Expiration date:*** March 31, 2027, or until all obligations have been satisfactorily fulfilled, whichever comes first.

ARTICLE 4: DEFINITIONS

4.1 Definitions.

For the purposes of this Agreement and the Schedules hereto, unless there is something in the context inconsistent therewith, the following words and phrases will have the following meanings:

- (a) **Agreement** means this Agreement as the same may be amended from time to time in accordance with the terms hereof and the expressions “herein”, “hereof”, “hereto”, “above”, “below” and similar expressions if used in any sub-paragraph, paragraph, sub-section, Section or Article of this Agreement refer and relate back to the whole of this Agreement and not to that sub-paragraph, paragraph, sub-section, Section or Article only, unless otherwise expressly provided;
- (b) **“Confidential Information”** means information that is deemed nonpublic or confidential pursuant to the Minnesota Government Data Practices Act;
- (c) **Event of Default** means, with respect either Brinks or MHB, that:
 - (i) such Party makes an assignment of its assets for the benefit of its creditors or makes a proposal to its creditors under any bankruptcy or insolvency legislation of any jurisdiction;
 - (ii) a petition in bankruptcy is filed and presented against such Party or a receiver, receiver and manager, custodian or similar agent is appointed or takes possession of any property or business of such Party;
 - (iii) such Party ceases or threatens to cease to carry on its business;
 - (iv) an execution, sequestration, extent or other process of any court becomes enforceable against such Party, or a distress or analogous process is levied upon the property of such Party or any part thereof that is not cured within sixty (60) days;
 - (v) in the case of either Party, any of the representations or warranties given hereunder are found to be incorrect or untrue and, as result, have a material, adverse effect upon such Party carrying out its obligations hereunder;
 - (vi) either Party’s failure to remedy a material breach of this Agreement within sixty (60) days of receipt of written notice from the other Party specifying in detail the nature of such breach.
 - (vii) written notice from any authorized agency finding either Party’s contract activities pursuant to this Agreement to be in violation of the law.
 - (viii) in the case of either Party if is found to be engaged in illegal contract or purchasing activities and/or no longer exists under the applicable law.
- (d) **“Parties”** means the parties to this Agreement, specifically Brinks and MHB and **“Party”** means any one of Brinks and MHB;

ARTICLE 5: PROJECT INFORMATION

5.1 Project Deliverables.

- Provide data and maps in preparation for the Mississippi Headwaters Habitat Corridor Program (MHHCP) September technical committee meeting.
 - Provide Pete with the existing watershed layer files (HUC10, HUC12, HUC14) from the original focus map.
- Attend and present at MHHCP September technical committee meeting.
- Update Headwaters Parcel Inventory and Assessment spreadsheet with current available data to also include MHHCP priority areas & Jacobson's wildlife scores OR use existing SWCD County-wide or watershed spreadsheets and add MHHCP data to it.
 - Add a column to the parcel spreadsheet indicating whether each parcel falls within a One Watershed, One Plan priority area.
 - Add a column or flag indicating whether each parcel falls within a conservation cluster.
- Create (or consolidate existing MHB webapps into) a new webapp that shows high priority (RAQ-scored) parcels in MHB work areas with Pete's wildlife scores & existing 1w1p priority areas as well.

5.2 Action Steps and Timeline.

- August 1, 2026 – September 31, 2026, Attend, present, and provide data and maps for the MHHCP technical committee meeting.
- October 1, 2026 – December 31, 2026, Based on discussion from MHHCP technical committee meeting; update Headwaters Parcel Inventory and Assessment spreadsheet with current available data to also include MHHCP priority areas & Jacobson's wildlife scores OR use existing SWCD County-wide or watershed spreadsheets and add MHHCP data to it.
- December 31, 2026 – March 31, 2027, Create (or consolidate existing MHB webapps into) a new webapp that shows high priority (RAQ-scored) parcels in MHB work areas with Pete's wildlife scores & existing 1w1p priority areas as well.

ARTICLE 6: FINANCIAL NEED AND RESOURCES

6.1 Funding.

MHB shall provide funding through their Outdoor Heritage Fund appropriation the amount of up to \$5,000 for professional services. The contract shall not exceed \$5,000.

ARTICLE 7: TERMINATION

7.1 Term

The period of this Agreement will commence on the date hereof and expire on March 31, 2027.

7.2 Termination

This Agreement shall be terminated prior to the expiration of the Term:

- (a) immediately upon either Party providing written notice to the other Party in the event of the occurrence of an Event of Default with respect to the other Party. Termination of this Agreement pursuant to this Subsection (a) shall not limit, in any way, the recourse to any remedies available to either Party at law or in equity; or
- (b) ninety (90) days following delivery by either Party of written notice to the other Party to that effect.

7.3 Payment upon Termination

In the event of termination of this Agreement, each Party shall perform its obligations up to and including the effective date of termination.

7.4 Rights and Obligations on Termination or Expiry

Upon the expiry of the Term or the termination of this Agreement and in addition to the other obligations of each Party as set forth herein, each Party shall promptly and unconditionally return or cause to be returned to other Party, as the case may be, all data, property, documentation and other materials supplied by or at the direction of one Party to the other Party or to any of its employees or agents.

ARTICLE 8: LIMITED LICENSE TO USE OF NAMES AND TRADEMARKS

8.1 Limited License To Use Name and Logo

Each Party grants the other Party a limited license to use its name and logo in advertising and promoting the events as contemplated in this Agreement, including the use of its logo on any merchandise authorized by both Parties.

8.2 Written Approval Required Before Use of Name and Logo

Notwithstanding Section 8.1, prior to a Party using the other Party's name and logo, such Party shall first submit to the other Party, for its prior written approval, such approval will not be unreasonably withheld, the nature of the use provided for in Section 8.1.

ARTICLE 9: GENERAL CONDITIONS

9.1 Notices

Whether or not so stipulated herein, all notices, communication, requests, and statements (the "Notice") required or permitted hereunder shall be in writing.

Any Notice required or permitted hereunder shall be sent to the intended recipient at its address as follows:

- (i) Mississippi Headwaters Board
ATTN: Executive Director
Address: 326 Laurel Street
City/State: Brainerd
Zip: 56401
Email: timt@mississippiheadwaters.org

Telephone: (218)-824-1189

Notice shall be served by the following means:

- (a) by delivering it to the Party on whom it is to be served via email or US postal mail. Notice delivered in this manner shall be deemed received when actually delivered to such Party through these methods.

9.2 Governing Law, Jurisdiction, and Attorney's Fees

This Agreement shall be interpreted and construed in accordance with and governed by the laws of the State of Minnesota. Any dispute arising out of this Agreement shall be adjudicated in Crow Wing County, Minnesota. In any action or proceeding to enforce rights under this Agreement, the prevailing Party will be entitled to recover costs and reasonable attorney's fees from the other Party

9.3 Force Majeure

Neither Party hereto shall be liable to the other for default or delay in performing its obligations hereunder if caused by fire, strike, riot, war, act of God, delay of carriers, governmental order or regulation, complete or partial shutdown of plant by reason of inability to obtain sufficient raw materials or power, and/or any other similar or different occurrence beyond the reasonable control of the Party so defaulting or delaying. The Party whose performance is prevented by any such occurrence shall notify the other Party thereof in writing as soon as is reasonably possible after the commencement of such occurrence, setting forth the full particulars in connection therewith, shall remedy such occurrence with all reasonable dispatch, and shall promptly give written notice to the other Party of the cessation of such occurrence.

9.4 Assignment

Neither Party shall have the right to assign or otherwise transfer its rights and obligations under this Agreement except with the prior written consent of the other Party, provided that a successor in interest by merger, by operation of law, assignment, purchase, or otherwise of the entire business of either Party shall acquire all interest of such Party hereunder. Any prohibited assignment shall be invalid.

9.5 Relationship

Each Party is an independent entity under the terms of this Agreement. Neither Party, by virtue of this Agreement, will have any right, power, or authority to act or create any obligation, expressed or implied, on behalf of the other Party. Except as otherwise provided or as may hereafter be established by a written agreement executed by authorized representatives of the Parties, all operational expenses incurred by either Party will be borne by the Party incurring the expense. Neither Party will hold itself out as, nor claim to be, an agent of the other Party and will not make any claim, demand, or application to or for any right or privilege applicable to an agent of the other Party.

9.6 Indemnity

Each party agrees to defend, indemnify, and hold the other harmless from any and all claims and demands of Members or Participants, which may result from the negligence of the other in connection with its duties and responsibilities under this Agreement, unless such action is a result of intentional wrongdoing of the other party. Each party agrees that it will be responsible for its own acts and the result thereof to the

extent authorized by law and shall not be responsible for the acts of the other party and the results thereof.

9.7 Limitations of Liability

Excepting the parties' indemnification obligations hereunder, neither party shall, by reason of termination of this Agreement or otherwise, be liable to the other party for any punitive, special, incidental, or consequential damages including, but not limited to the following: compensation or damages for loss of present or prospective profits or revenues; loss of actual or anticipated commissions on sales or anticipated sales; expenditures, investments, or commitments made in connection with the establishment, development, or maintenance of the selling representation created by this Agreement or in connection with the performance of obligations, regardless of the form of action, whether in contract, tort, or other legal theory. The foregoing limitation shall apply (A) even if such party has been advised of the possibility of such damages and (B) notwithstanding any failure of essential purpose of any limited remedy herein.

9.8 Binding Effect

This Agreement binds and inures to the benefit of the Parties hereto and their respective successors and permitted assigns.

9.9 Entire Agreement

The individuals signing this Agreement hereby represent that they are authorized, on behalf of their respective organizations, to execute this Agreement and the Agreement contains the entire understanding between the Parties concerning the subject matter.

9.10 Severability

In the event that any of the terms of this Agreement are in conflict with any rule, law, statutory provision, or are otherwise unenforceable under the laws or regulations of any applicable government or subdivision thereof, such terms shall be deemed stricken from this Agreement, but such invalidity or unenforceability shall not invalidate any of the other terms of this Agreement. This Agreement shall continue in force, unless the invalidity or unenforceability of any such provisions hereof does substantial harm to, or where the invalid or unenforceable provisions compromise an integral part of, or are otherwise inseparable from, the remainder of this Agreement.

9.11 Waiver

Failure by either Party to take action or assert any right hereunder shall not be deemed a waiver of such right in the event of the continuation or repetition of the circumstances giving rise to such right.

9.12 Successors

All rights and remedies of the Parties hereunder shall inure to the benefit of their successors and assigns.

9.13 Amendments

This Agreement shall not be deemed or construed to be modified, amended, rescinded, canceled, or waived, in whole or in part, other than by written amendment signed by both Parties.

9.14 Confidentiality

The Parties agree and understand that each Party that all information that each Party possesses shall be considered public unless such information qualifies as an exception under the Minnesota Government Data Practices Act. The Parties agree to not disclose Confidential Information and shall take all reasonable measures to enforce the obligation of confidentiality and use contained herein with respect to any of their employees or former employees who while in the employ of the Parties have access to Confidential Information. In the event of unauthorized disclosure of Confidential Information, the disclosing Party will indemnify and hold the non-disclosing Party harmless from any and all claims, suits, fines, penalties, causes of action, damages, liabilities, expenses, and attorneys' fees incurred as a result of the disclosing Party's unauthorized disclosure of Confidential Information. The disclosing Party will be bound by, and will pay, the amount of any settlement, judgment, penalty, fine, and award as well as any and all costs, expenses, and attorneys' fees incurred by the non-disclosing Party as a result of the unauthorized disclosure.

9.15 Reference to Articles, Provisions, and Sub-provisions

As used herein, reference to any Article, Provision, or Sub-provision shall be only with reference to an Article, Provision, or Sub-provision of this Agreement unless specifically indicated otherwise.

9.16 Counterparts

This Agreement may be executed and delivered in any number of counterparts, by facsimile copy, by electronic or digital signature or by other written acknowledgement of consent and agreement to be legally bound by its terms. Each counterpart when executed and delivered will be considered an original but all counterparts taken together constitute one and the same instrument.

9.17 Execution and Delivery of Documents

Each of the Parties hereto, legal representatives, successors, and assigns shall do all things to execute and deliver any and all documents which may be necessary at any time to carry out and effectuate the terms and conditions of this Agreement.

9.18 Recitals and Schedules

The Parties hereby confirm and ratify the matters contained and referred to in the Recitals and this Agreement and agree that it and the various schedule(s) hereto are expressly incorporated into and form part of this Agreement, notwithstanding that such Schedules may not be expressly referred to herein. If a conflict arises between any provision contained in this Agreement and any provision contained in any of the schedules hereto, the provisions of this Agreement shall prevail.

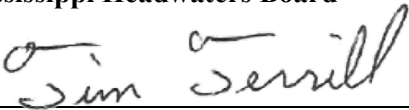
The Schedules to this Agreement are as follows:

None

ARTICLE 10. AGREEMENT

IN WITNESS WHEREOF, the Parties have executed this Agreement effective the date hereof.

Mississippi Headwaters Board

By 
Authorized Signature-**Signed**

By Tim Terrill
Name-**Printed**

Title Executive Director

Date 8/3/2026

Brinks Wetland Services LLC

By _____
Authorized Signature-**Signed**

By _____
Name-**Printed**

Title _____

Date _____

Executive Director Report

July - August 2026

Personnel, Budget, Administration, Information & Education, Correspondence

1. Reviewed monthly budget.
2. Prepared monthly agenda packet.
3. Sent in monthly expense report.
4. Sent press release to newspapers.
5. Reviewed monthly variances as they are brought forward by counties.
6. Set up appointment at Mid-Minnesota FCU to set up two CD's with Commissioner Kearney.
7. LSOHC ML24 and ML25 status reports were submitted on 7/28/26.
8. Set up MHB display at the We Are Water exhibit in Little Falls.

Meetings & Networking

7/21 – Contacted Heather Funk at Itasca State Park to discuss opportunities for collaboration in promoting the Woods & Water Paddling event scheduled for August 22.

7/22 – Contacted Crow Wing Energize to discuss potential involvement in the History Paddle scheduled for August 15. Also contacted Great River Arts and the Little Falls Area Chamber of Commerce to explore opportunities to collaborate on social media promotion of We Are Water and the MHB History Paddle. The Little Falls Chamber agreed to promote the event on its community calendar, and the Great River Arts agreed to do so as well.

7/24 – Spoke with Bill Heig regarding the proposed Land Exchange. He informed me that the Leech Lake Band of Ojibwe supports placing a conservation easement on the property to protect cultural resources found on the land to be exchanged with the U.S. Forest Service. I followed up with Bill Heig on 8/5, and he indicated that Congresswoman Smith's office plans to include the land exchange in the Farm Bill.

7/27 – Over the past two years, the MHB has developed collaborative relationships with tourism and economic development organizations throughout the MHB region. By consistently promoting paddling events in neighboring counties through our social media channels, including Minnesota Traditions, we have developed a strong network of reciprocal support. These organizations now regularly share and promote MHB events, even when the events occur outside their own counties. This cooperative approach has expanded the reach of community events across the region, increased visibility for local attractions and businesses, and strengthened regional partnerships that benefit communities throughout the Headwaters region.

7/27 – Attended the WonderTrek in-progress site tour and met with Senator Kari Heintzeman. I briefly discussed the MHB's easement and acquisition program and its role in protecting the first 400 miles of the Mississippi River.

7/29 – Established two Certificates of Deposit (CDs) at Mid-Minnesota Federal Credit Union. The first CD was for \$100,000 with a 13-month term at an interest rate of 3.95%, compared with the May rate of 3.55%. The second CD was for \$50,000 with a 7-month term at an interest rate of 3.85%, compared with the May rate of 3.75%. Both CDs are jointly held by Commissioner Kearney and me, with the account structure allowing additional Commissioners to be added in the future if needed.

7/30 – Attended the Aitkin Lake Summit meeting. I spoke with Commissioner Westerlund and County Administrator David Minke about the MHB's zoning authority and how the process is consistently administered across all eight counties.

7/31 – Held a Zoom meeting with Peter Jacobson, Mitch Brinks, and Paula West to review progress on the wildlife report and discuss how to translate the findings into a practical implementation tool for SWCDs. During the review, we found that parcel-level data and RAQ scores correlated well with the wildlife report metrics, validating the combined approach. This methodology could provide BWSR with data and a framework that could be incorporated into future One Watershed One Plans and applied to DNR Conservation Opportunity Areas throughout Minnesota.

8/4 – Kayaked from Verdon to the Lee Ferry landing in Aitkin.

8/6 – Set up an online Zoom meeting with LSOHC partners to begin discussing how to respond to questions and comments at the upcoming LSOHC hearing. The meeting is scheduled for 8/20.

8/7 – Created and scheduled social media posts promoting upcoming MHB paddle events.

8/11 – Corresponded with LSOHC partners regarding comments from LSOHC Council members and updated the online form to address and respond to those questions. With new council members on the Outdoor Heritage Council, partners agreed that more education about easements need to be conducted with them.

8/12 – Attended the Sartell Watershed Advisory Committee meeting and reviewed comments on Sections 4–7, which address measurable goals, changes to the HSPF-SAM modeling results, and plan administration and coordination. While the Technical Advisory Committee did not agree with or fully support every aspect of the plan, the draft will be submitted to the Steering Committee for internal review. The Steering Committee will provide feedback on which sections may require additional detail and which areas could be streamlined.

8/15 – Held the History Paddle, with 21 people and one dog in attendance. All participants were new to this particular paddle and expressed appreciation for the opportunity to learn

about the history of the Mississippi River. Participants also commented on how homes along the river were not easily visible from the water, which provided an opportunity to explain the role of the MHB in protecting the Mississippi River corridor.

Since the beginning of the year, 52 people have signed up to receive email notifications about upcoming MHB paddling events.

8/18 – Gave a general overview of the MHB to the Aitkin SWCD Board. I am in the process of visiting the boards of all eight MHB county SWCDs, as it has been nearly ten years since I last presented to them.

8/19 – Attended the Crow Wing SWCD Board meeting and provided a general overview PowerPoint presentation on the MHB and its accomplishments over the years.

8/21 – Held a meeting with Jim Wanstall to discuss the connection between the Minnesota State Wildlife Action Network Conservation Opportunity Areas (COAs) and the MHHCP Wildlife Priority Map. There is funding available to SWCDs through this plan for monitoring, education and outreach, and habitat management that could benefit local SWCD efforts. I am in the process of connecting with BWSR to explore whether funding could be directed through a programmatic opportunity rather than being limited to individual landowner parcels.

8/22 – Held the Woods & Water Paddle at Itasca State Park. 12 people attended

8/25 – Attended the LSOHC hearing and represented the MHHCP partnership and requested \$5 million in easement funds.